

PLANNING

Date: Monday 13 November 2023
Time: 5.30 pm
Venue: Rennes Room, Civic Centre, Paris Street, Exeter

Members are invited to attend the above meeting to consider the items of business.

If you have an enquiry regarding any items on this agenda, please contact Howard Bassett, Democratic Services Officer (Committees) on 01392 265107.

Entry to the Civic Centre can be gained through the Customer Service Centre, Paris Street.

Membership -

Councillors Knott (Chair), Asvachin (Deputy Chair), Bennett, Hannaford, Jobson, Ketchin, Miller, Mitchell, M, Patrick, Sheridan, Vizard, Wardle, Warwick and Williams, M

Agenda

Part I: Items suggested for discussion with the press and public present

- 5 **Planning Application No. 23/0875/VOC - Sandy Park Stadium, Sandy Park Way, Exeter**
- To consider the report of the Director City Development (Pages 3 - 20)
- 6 **Planning Application No. 23/0232/FUL - Apparelmaster, Cowley Bridge Road, Exeter**
- To consider the report of the Director City Development. (Pages 21 - 62)
- 7 **Planning Application No. 23/0880/FUL - Former Exeter Royal Academy for the Deaf, 50 Topsham Road, Exeter**
- To consider the report of the Director City Development (Pages 63 - 82)

Date of Next Meeting

The next scheduled meeting of the Planning Committee will be held on **Tuesday 5 December 2023** at 5.30 pm in the Civic Centre.

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Exeter City Council
Planning Committee
13 November 2023



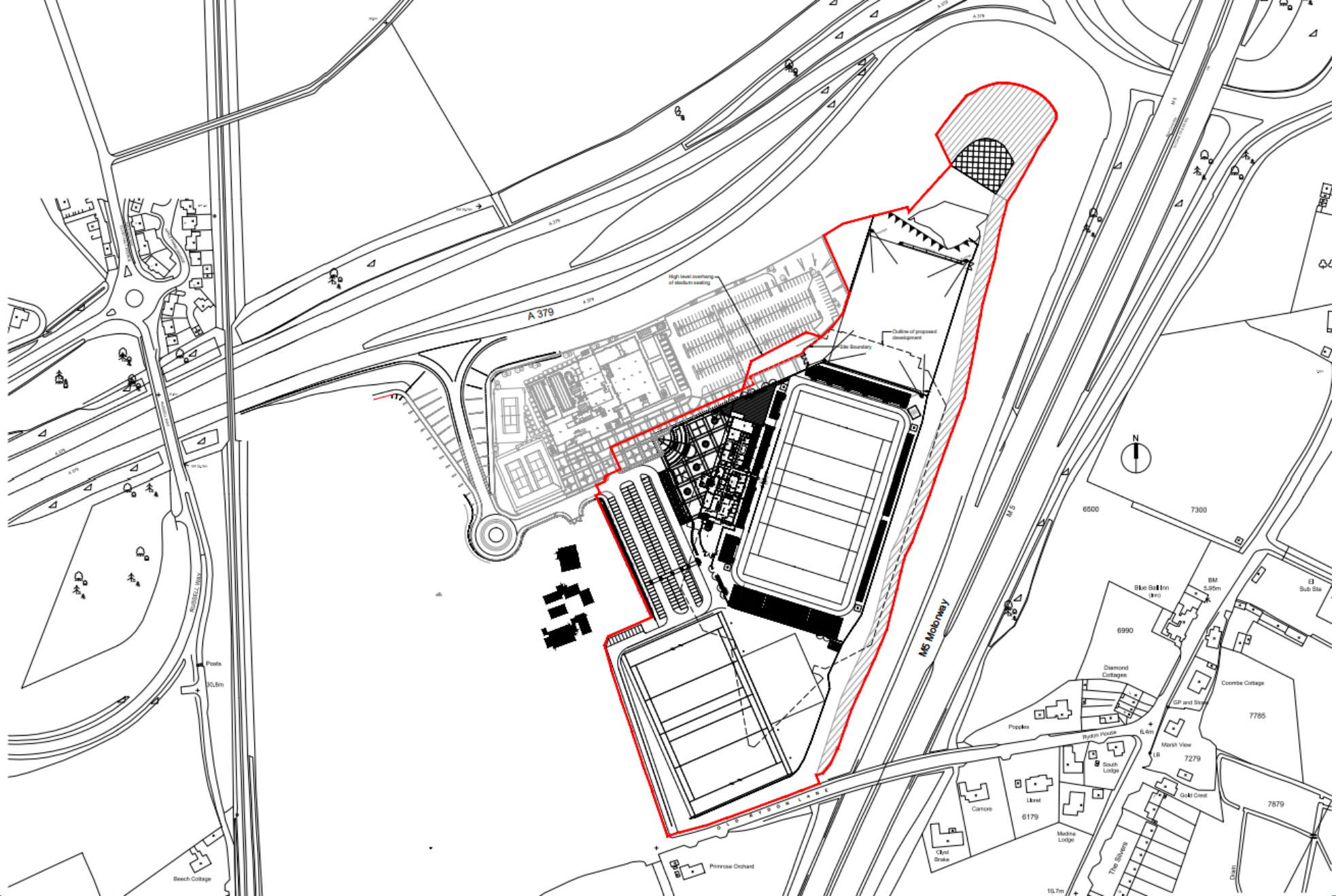
Application 23/0875/VOC

Site: Sandy Park Stadium, Sandy Park Way, Exeter

Applicant: Mr Tony Rowe CBE

Proposal: Redevelopment to increase capacity from 10750 to 20600 by three new grandstands, additional parking, bus/coach drop off and extension to west stand including conference centre to south stand. Variation of condition 7 of 12/1030/FUL to allow up to 6 music concerts per year on weekends only for an attendance of up to 15,500 people per concert to take place between 1st May and 15th July avoiding local school half term and summer holidays. (REVISED WORDING FOR CONDITION VARIATION.)

Case Officer: Catherine Miller-Bassi



SITE LOCATION PLAN (12/1030/FUL)

- Planning Committee resolved to approve original application, **12/1030/FUL**, 29 October 2012
- Decision Notice issued 30 October 2021
- Original consent partially implemented – extant:
 - Increase capacity – 10,750 to 20,600
 - 3no. new grandstands
 - additional parking & bus/coach drop off
 - extension to west stand
 - conference centre to south stand
- Courtyard by Marriott Sandy Park to south with footbridge from hotel to stadium (17/0665/OUT)

- Condition 7 of original consent (12/1030/FUL):
Unless otherwise agreed the playing area and spectator facilities in the main stadium shall only be used for the purposes of playing rugby or other sporting activities. The site shall not be used for public performance of musical events.
- Proposed variation to above condition:
Unless otherwise agreed the playing area and spectator facilities in the main stadium shall only be used for the purposes of playing rugby or other sporting activities. The site shall not be used for public performance of musical events except to allow up to 6 music concerts per year on weekends only for an attendance of up to 15,500 people per concert to take place between 1st May and 15th July avoiding local school half term and summer holidays.

- Amendments secured during this planning application in response to Officer & consultee concerns
- Originally proposed variation to Condition 7:
 - *to allow up to 6 music concerts per year on weekends only for an attendance of up to 15,500 people per concert and small events (not including live music) of no more than 5,000 people per event to take place between 1st May and the third week of July avoiding local school holidays.*
- Amended proposed variation to Condition 7:
 - *to allow up to 6 music concerts per year on weekends only for an attendance of up to 15,500 people per concert to take place between 1st May and 15th July avoiding local school half term and summer holidays.*

- Recent application, ref. 23/0151/VOC, was granted by Planning Committee in June 2023 for the variation of Condition 7 of 12/1030/FUL to allow up to **4 music concerts on 17, 18, 24, 25 June** 2023 only for an attendance of up to 15,000 people per concert.
- Advice to applicants issued under, 23/0151/VOC, by technical consultees regarding data to be collected at the above events relating to **noise and highways impacts** – to be used to inform any future application for similar events.
- A Post Event Report by Clarke Saunders, dated 03/07/23, (filed under ref. 23/0151/VOC) sets out this data including complaints received for 2023 events.

- 2no. consultations undertaken for this application
- 17no. representations received – all objections
- Including from McMurdo Ltd on behalf of The Pratt Group (comprising The Sandy Park Farm Partnership together with Sidney Pratt (Builders) Ltd) which owns land immediately adjacent to the Exeter Chiefs Stadium
- Objections mainly:
 - Noise pollution,
 - Traffic & parking issues / impact on M5 junction 30,
 - Antisocial behaviour / alcohol & littering
 - Councillors in receipt of hospitality from Sandy Park

- Technical consultees:
 - **Local Highways Authority** – impact on traffic and parking / access arrangements concerns
 - **National Highways** – impact on Junction 30 of M5 concerns
 - **Environmental Health** – noise impact concerns
- **All concerns overcome** by additional information and recommended conditions

- **Impact on residential amenity**
 - Noise from amplified music
 - Noise from spectators arriving/leaving – see Highways
 - Traffic, parking – assessed under Highways section
 - Antisocial behaviour/alcohol, litter
- **Impact on highways**
 - Additional traffic in residential areas
 - Additional traffic at Junction 30 of M5 during school holidays
 - Additional parking in residential areas

- **Noise from music:**

- Music Events Noise Criteria, by Clarke Saunders, dated 22/09/23, submitted to replace previously proposed noise limits:

Concert days per calendar year	Music Noise Level*	Low Frequency Noise**
3	Not to exceed 75 dB(A) over a 15-minute period	63 Hz and 125 Hz octave frequency bands shall be below <u>Leq 80 dB</u> over a 15-minute period.
3	Not to exceed 65 dB(A) over a 15-minute period	63 Hz and 125 Hz octave frequency bands shall be below <u>Leq 75 dB</u> over a 15-minute period.

* Music Noise level to be measured in accordance with The Noise Council 1995 Code of Practice on Environmental Noise Control at Concerts

** Low frequency noise to be measured at 1m from the façade of any noise sensitive premises

- **Noise from music** continued:
 - Potential impact of this proposal is **greater** than for the previous consent (up to 6no. per year rather than on 4no. dates for 1 year only)
 - To set against this, the applicant has proposed **reduced** overall noise limits and **reduced** low frequency noise limits for three of the six events.
 - Environmental Health consider the noise limits proposed **are appropriate**.
 - A condition is recommended to include:
 - **Event Noise Management Plan and Complaints Procedure** for each year's events to be approved in advance
 - Noise limits – see previous slide
 - Time restriction for music: 16:00 to 22:30
 - Only on Saturday or Sunday evening and no more than two consecutive weekends
 - Post Event Report to be submitted each year – noise and other data including complaints received and changes proposed
 - **Proposal considered **acceptable** in this regard**

- **Antisocial behaviour:**
 - This generally lies **beyond remit of planning legislation**
 - Events are subject to **premises licence**, involving **dispersal policy** to avoid nuisance to neighbours
 - **Events Management Plan – part of licensing** & approved by Safety Advisory Group (SAG)
 - SAG includes:
 - Exeter City Council
 - Principal Health and Safety Officer (Chair)
 - City Arts and Culture Officer (Deputy Chair)
 - Principal Environmental Health Officer
 - Principal Licensing Officer
 - Devon County Council
 - Highways Manager (Exeter)
 - Emergency Planning Officer (Exeter)
 - Trading Standards Officer (Exeter)
 - Devon and Somerset Fire and Rescue Service
 - Devon and Cornwall Police Events Liaison Officer (Exeter)
 - Police Licensing Officer
 - South West Ambulance Service
 - Trading Standards

- **Antisocial behaviour continued:**
 - Event Management Plan for Licensing (not a planning matter):
 - Litter clean up by Sandy Park staff (Bishops Court, Newcourt & down to the station)
 - Sandy Park would provide marshalls to prevent attendees entering nearby residential area before & after events (see Exeter Safety Advisory Sub-Group condition – off-site supervision)
 - Customers would not be permitted to take any drinks/alcohol away from the stadium in open containers
 - **Event Noise Management Plan and Complaints Procedure** to be conditioned & would include measures such as:
 - marshalling and signage
 - effective implementation of the dispersal plan
 - restrictions on patrons taking cups out of the stadium
 - prior notification of residents before events
 - operation of a complaint line
 - monitoring during the event to ensure that any
 - agreed noise limits are not exceeded
 - policy in respect of the use of foul language by the compere or acts
 - policy in respect of the use of fireworks and pyrotechnics
 - **Proposal considered acceptable in this regard**

- **Access & parking:**
 - **Event Access Strategy & Events Travel Plan** to be conditioned
 - based on Match Day Access Strategy (MDAS) & data from 2023 events
 - up to 15,000 spectators on match days
 - approved by ECC, DCC & National Highways
 - focused on enabling access by sustainable transport modes
 - similar level of local bus capacity to that for match days
 - off-site parking at Grenadier Road & Pynes Hill with 1,267 spaces with shuttle buses 4-6min drive to stadium / 30-40 min walk – **conditioned**
 - additional park and ride available near stadium if required
 - **Car Park Management Plan**
 - limited on-site parking for events – essential or VIP (300no. required of 500no. available spaces)
 - staff parking provided on hotel site

- **Access & parking (continued):**
 - Transport Technical Note**
 - analysis of events in 2023
 - demonstrates that additional traffic would not cause significant impact on operation of strategic or local road networks
 - primarily as a result of the arrival period for events occurring outside peak times
 - **National Highways**
 - proposed events to avoid school holidays at request of NH
 - **previous holding objection WITHDRAWN** subject to conditions
 - NH recommended conditions mostly duplicated those published on Committee Report
 - all new and amended conditions published on Additional Information Sheet on 10/11/23
 - includes **Exeter Safety Advisory Sub-Group condition** with on & off-site access measures eg supervision of pedestrian routes, park & ride, controlled parking zones etc
- **Proposal considered **acceptable** in this regard**

- **Proposed music events** would:
 - be held within an existing stadium
 - not conflict with its primary purpose of holding rugby matches
 - provide **opportunity for employment** together with community and leisure activities & mixed uses to **support vitality of area**
 - be considered acceptable subject to conditions regarding impact on residential amenity & highways
- Potential adverse impacts would be mitigated by measures to be approved and monitored via a number of conditions
- On balance, **benefits of scheme considered to outweigh any adverse impacts & proposal represents sustainable development overall**

Planning permission for the proposed S73 Variation of Condition application be **GRANTED**

subject to additional planning conditions

(and inclusion of original or updated conditions from original decision notice, 12/1030/FUL)

Exeter City Council Planning Committee 13th November 2023



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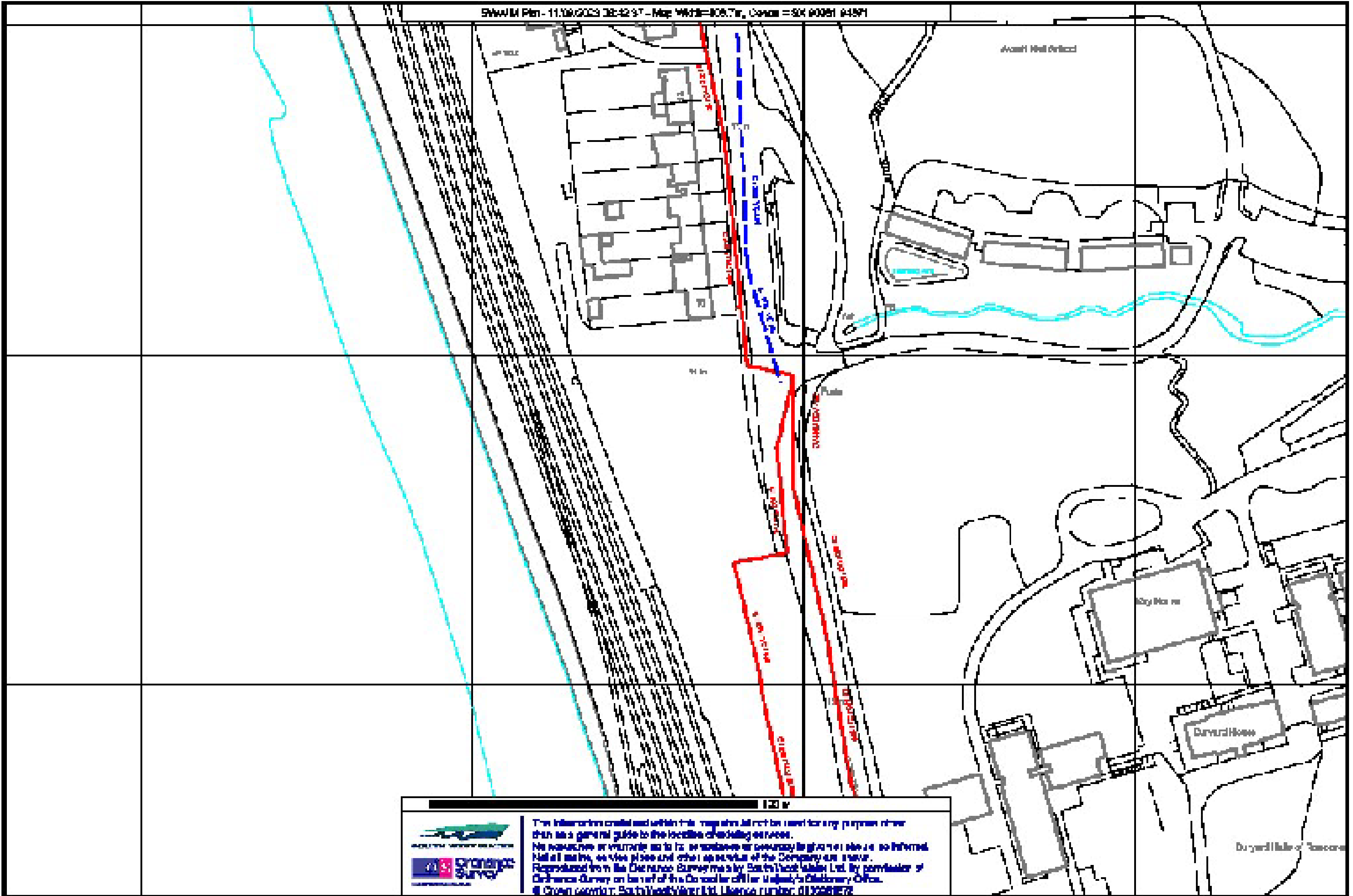
Application 23/0232/FUL


Site: Apparelmaster, Cowley Bridge Road, Exeter.

Applicant: MDS

Proposal: Construction of new buildings for purpose built student accommodation (Sui Generis use) with associated landscaping, servicing and infrastructure works (Revised Plans).

Case Officer: Howard Smith



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SITE LOCATION PLAN



AERIAL VIEW



AERIAL VIEW



PHOTOS



PHOTOS





PHOTOS

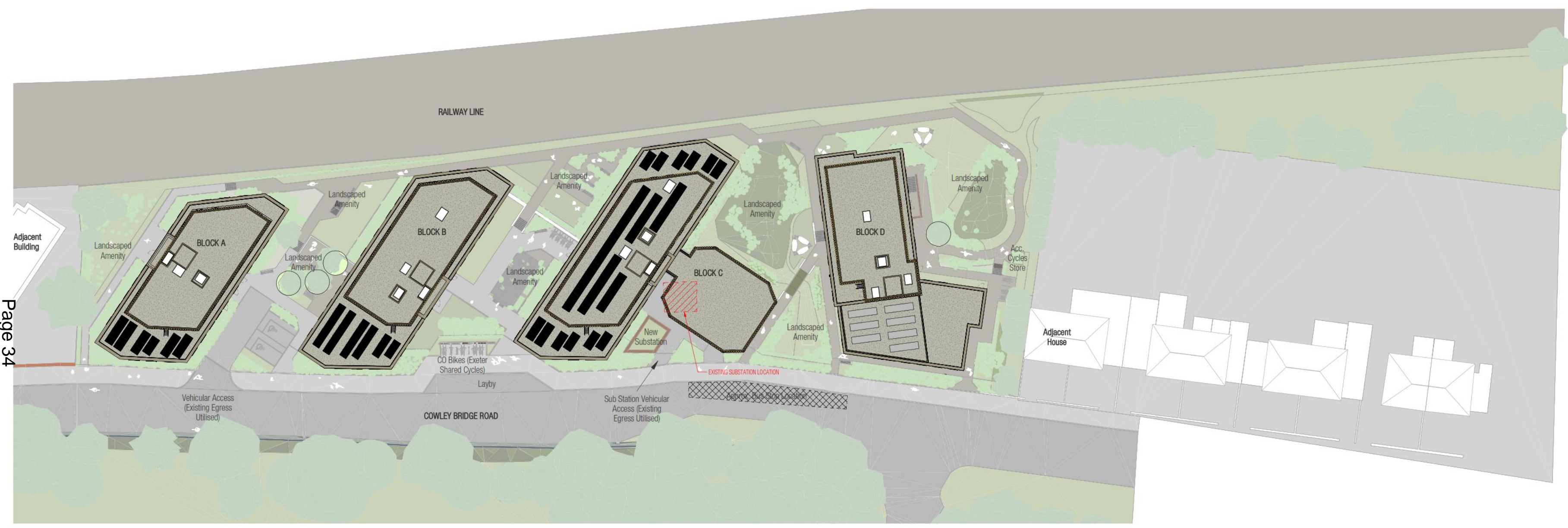








3D VISUALISATION



PROPOSED SITE PLAN
1 : 250

- LEGEND**
- APPROX. LINE OF OFFSET 2.0M FROM FENCE LINE TO PROPOSED 3M FROM ROAD AT 1:250 SCALE
 - APPROX. PROPOSED FENCE LINE
 - APPROX. EXISTING OF SHARED SURFACE
 - APPROX. LINE OF EXISTING DRAINAGE NET PICKED UP BY SURVEY INFORMATION
 - APPROX. LOCATION OF MANHOLES AT 1:250 SCALE
 - APPROX. LINE OF PUBLIC COMBINED DRAIN NETWORK TO BE AGREED BY THE CONTRACTOR
 - APPROX. LINE OF DISTRIBUTION MAINS/PPS WITH 2.0M OFFSETS AT 1:250 SCALE
 - APPROX. LOCATION OF EXISTING SUB STATION AT 1:250 SCALE
 - APPROX. LOCATION OF EXISTING BUS STOP AT 1:250 SCALE
 - APPROX. LOCATION OF PROPOSED LAMP & SIGN POST LOCATION



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PROJECT
COWLEY BRIDGE ROAD EXETER

TITLE
PROPOSED SITE PLAN

SCALE
As indicated @ A0

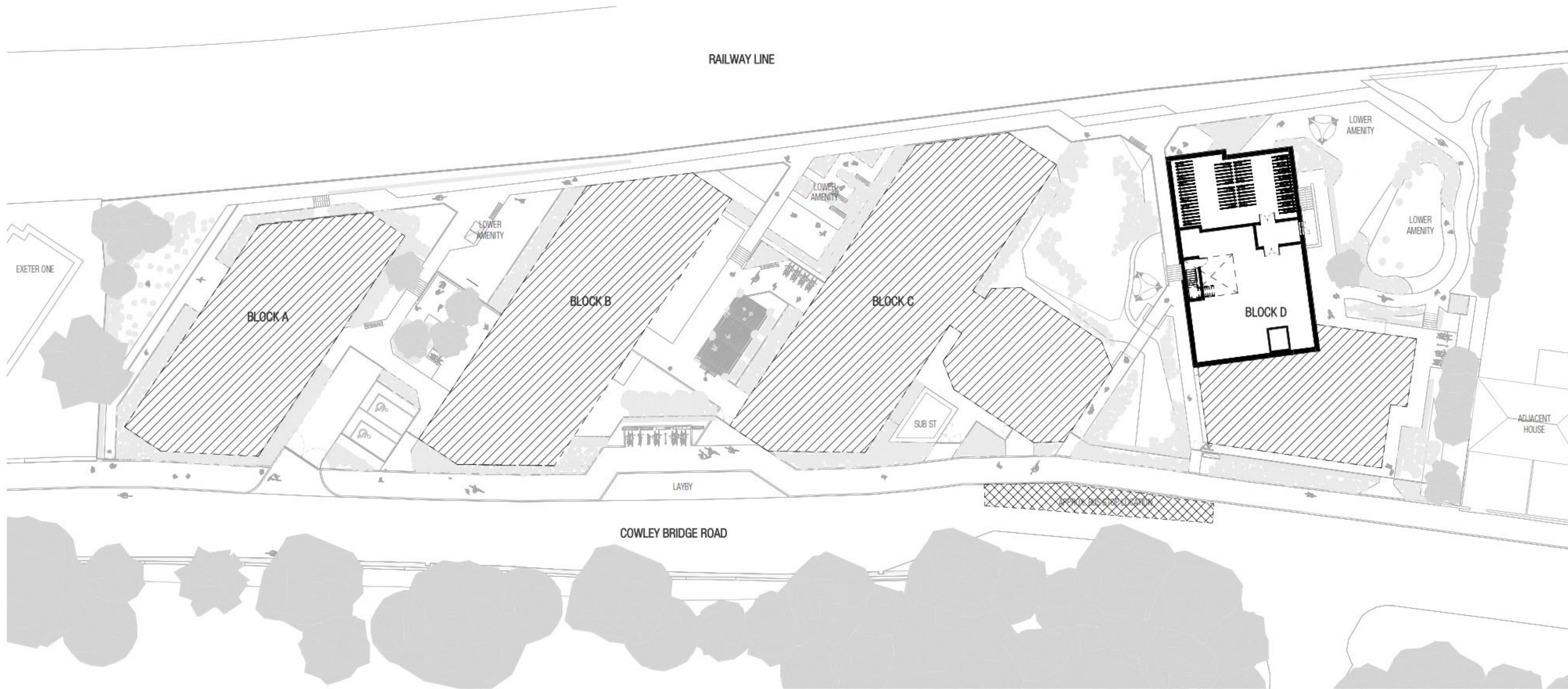
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Site Layout

REVISIONS

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B	DRAWING UPDATED TO REFLECT DEVELOPED DESIGN FOLLOWING INPUT FROM CLIENT	25/11/22 LS/SS
C	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT	06/12/22 HS/LB
D	MINOR UPDATE TO PROPOSED LEVELS & LANDSCAPING BETWEEN BLOCKS D & E	16/12/22 LS/SS
E	LANDSCAPE LAYOUT UPDATED FOLLOWING DESIGN DEVELOPMENT	13/01/23 HS/LB
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MASTERPLAN LOWER GROUND FLOOR

SCALE
1 : 250 @ A1

DATE
15/07/22

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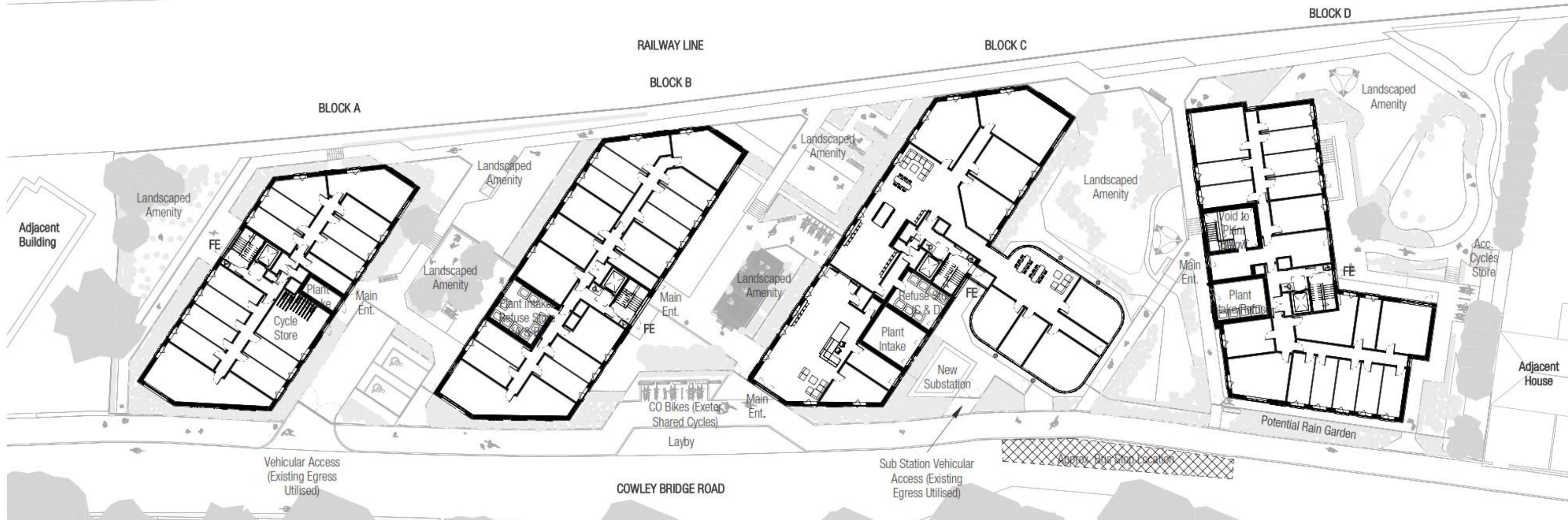
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Site Layout – Lower Ground Floor

REVISIONS

REVISION	DESCRIPTION	DATE
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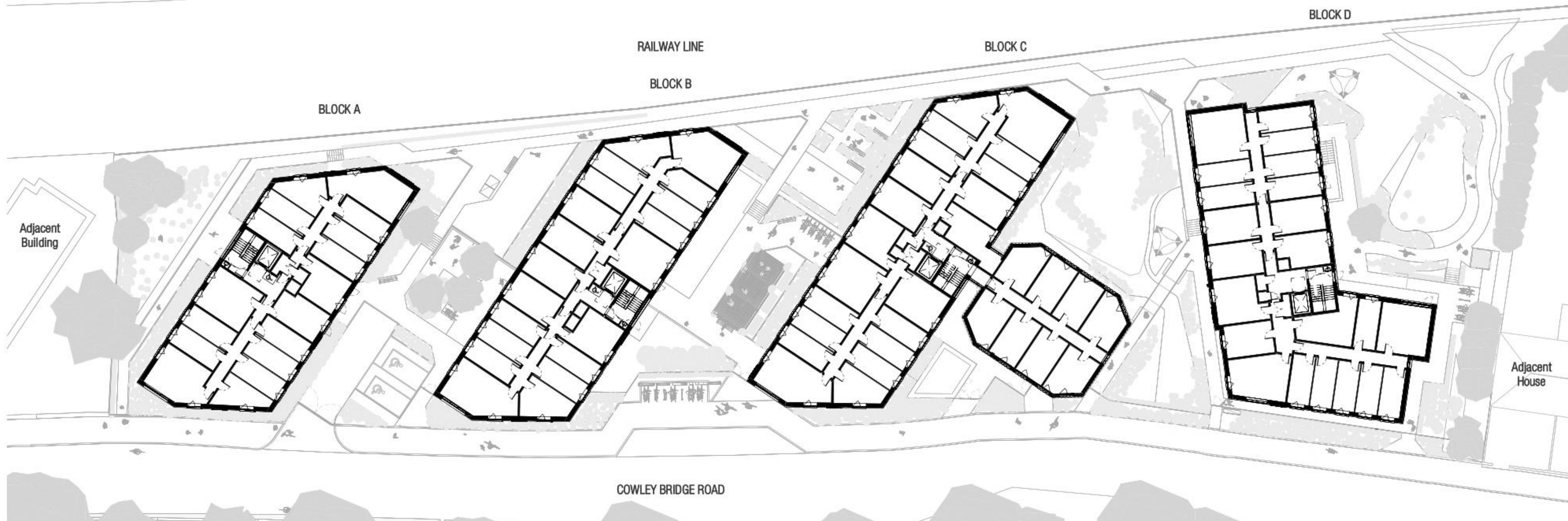
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Site Layout – Ground Floor

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PROJECT
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PROJECT
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Site Layout – 2nd Floor

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PROJECT
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TITLE
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Site Layout – 3rd Floor

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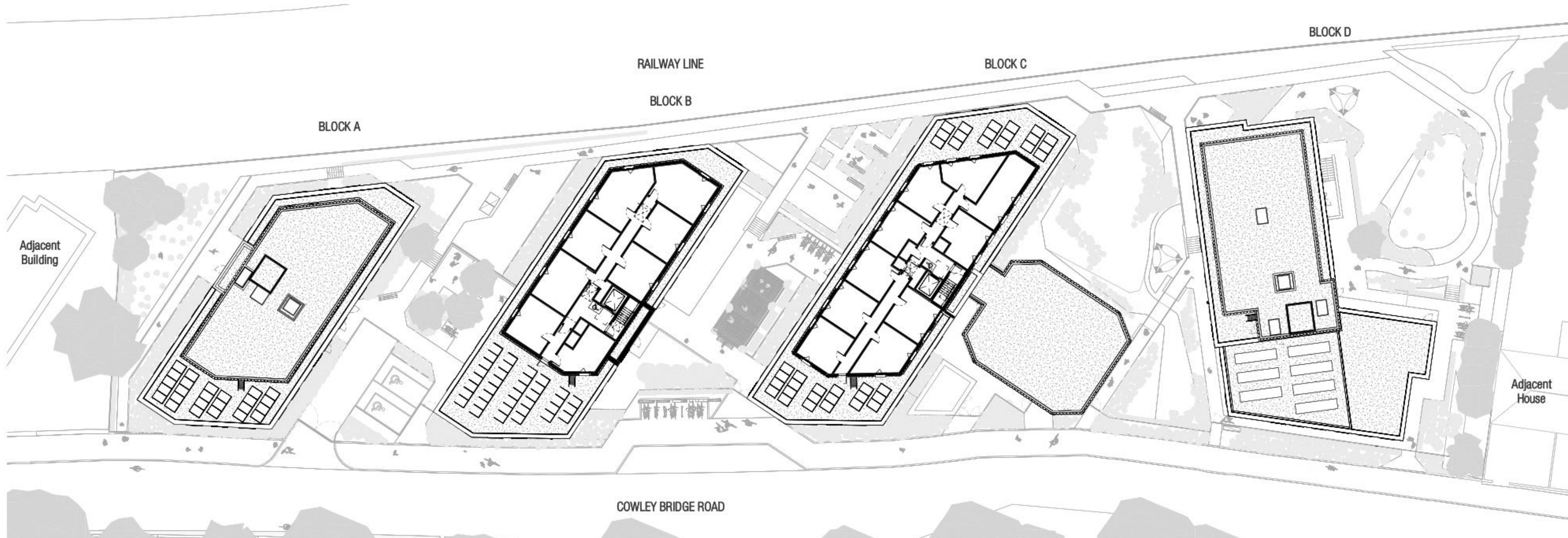
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CLASS NUMBER REVISION

Site Layout – 4th Floor

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PROJECT
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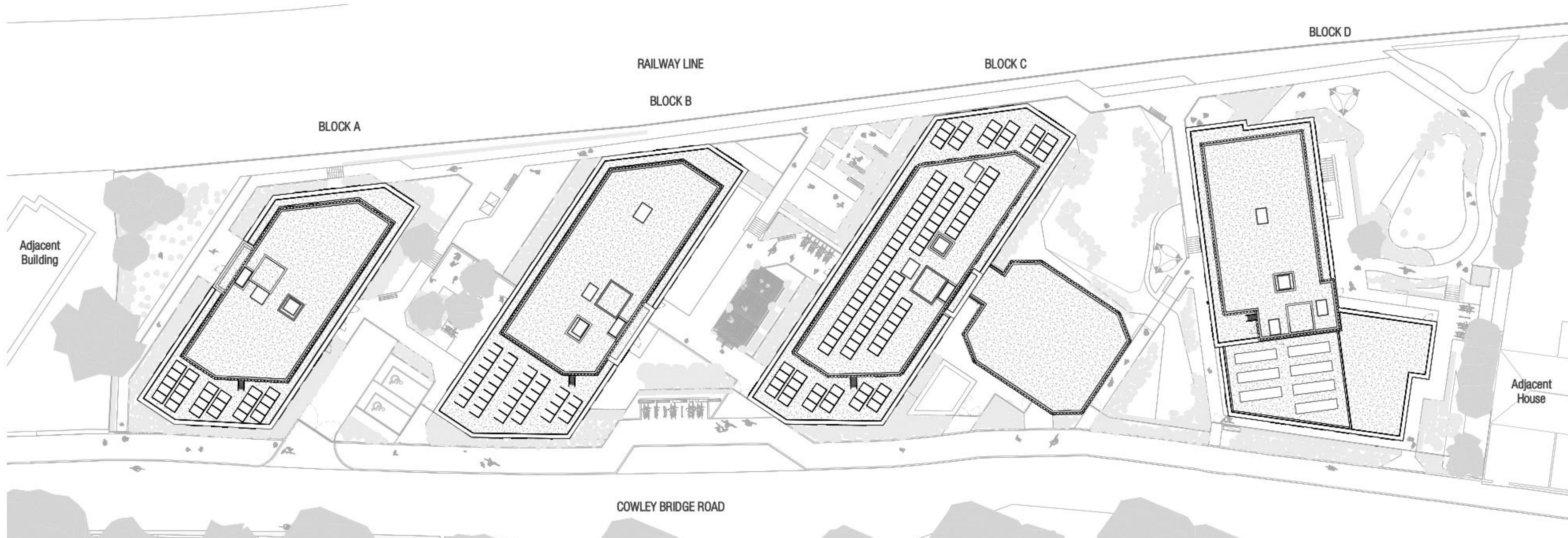
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DATE
16/11/22

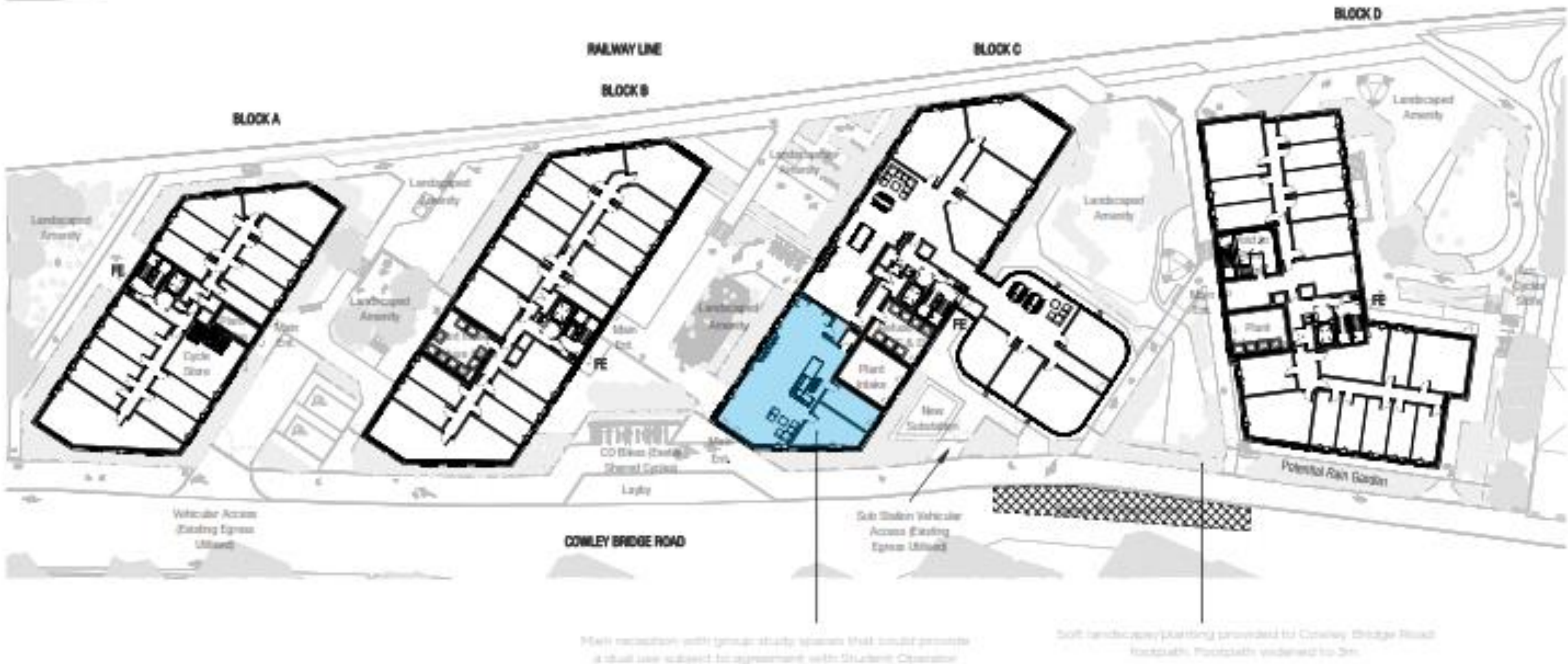
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Site Layout – Roof Plan

ACTIVE FRONTAGE & BOUNDARY TREATMENT



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REVISIONS

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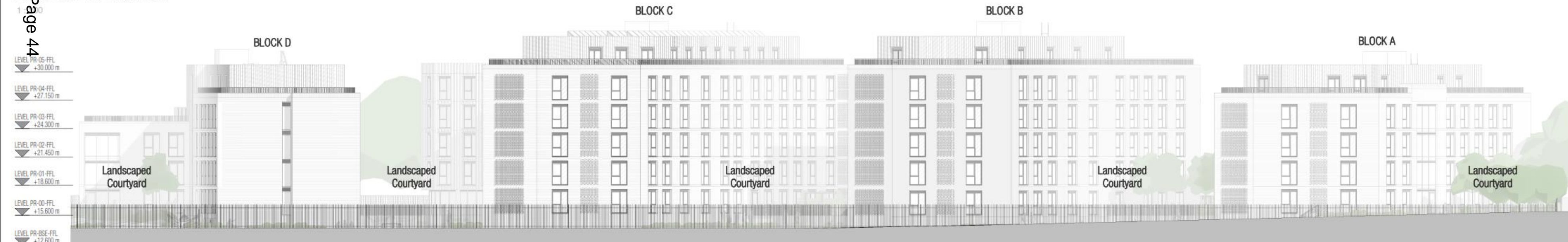
NORTH SITE ELEVATION

1 : 200



EAST SITE ELEVATION

1 : 200



WEST SITE ELEVATION

1 : 200



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PROJECT
COWLEY BRIDGE ROAD
EXETER

TITLE
PROPOSED SITE ELEVATIONS

SCALE
1 : 200 @ A1

DATE
06/12/22

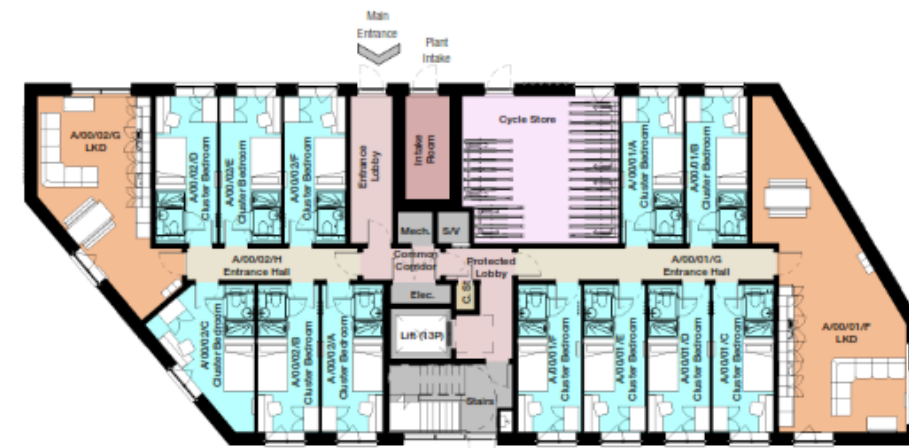
DRAWN
HS

REVIEWED
LB

Site Elevations

REVISIONS

A	DRAWING UPDATED TO SHOW LAYOUTS DEVELOPMENT	01/12/22 HS SS
B	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT	02/12/22 HS LB
C	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT	06/12/22 HS LB
D	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT	07/12/22 HS SS
E	MINOR UPDATE TO DRAWINGS FOLLOWING COMMENTS	16/12/22 LS SS
F	PLANNING ISSUE UPDATE	25/08/23 LB SS
G	DRAWINGS UPDATED IN LINE WITH ECC PLANNING COMMENTS	16/10/23 DG/SS



Room Key:

Cluster Bedroom	Cycle Store	Plant
Core	Entrance Hall	Store
Corridor	Living/Kitchen/Dining	

GROUND FLOOR PLAN

1 : 200



FIRST FLOOR PLAN

1 : 200



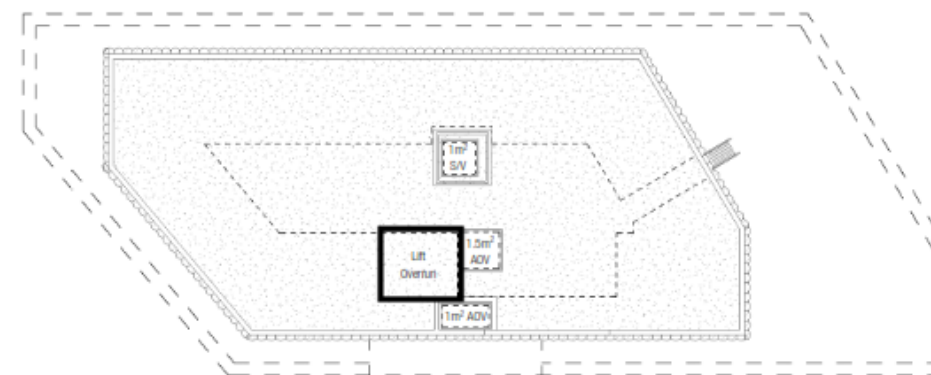
SECOND FLOOR PLAN

1 : 200



THIRD FLOOR PLAN

1 : 200



BUILDING KEY PLAN



NORTH



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PROJECT
COWLEY BRIDGE ROAD
EXETER

TITLE
**PROPOSED FLOOR PLANS
BLOCK A**

SCALE
As indicated @ A1

DATE
30/11/22

DRAWN
HS

REVIEWED
LB

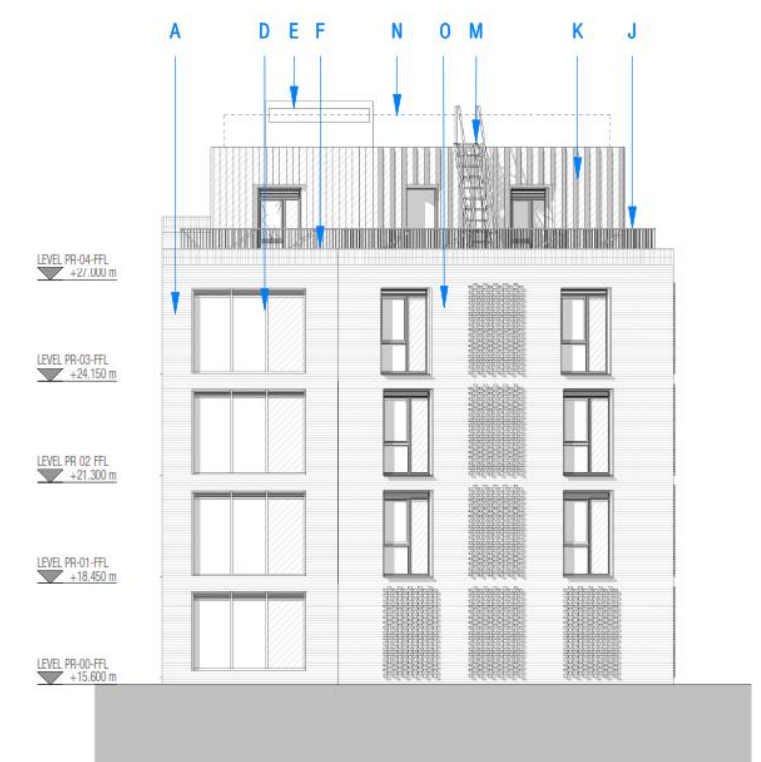
CLASS NUMBER REVISION

REVISIONS	
A	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT 06/13/22 HG LR
B	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT 07/12/22 HG SS
C	MINOR UPDATES TO DRAWINGS FOLLOWING COMMENTS 16/12/22 LS SS
D	MINOR UPDATES TO MATERIAL KEY FOLLOWING COMMENTS 18/01/23 LS SS
E	PLANNING ISSUE UPDATE 25/06/23 LS SS
F	DRAWINGS UPDATED IN LINE WITH ECC PLANNING COMMENTS 16/10/23 DGSS

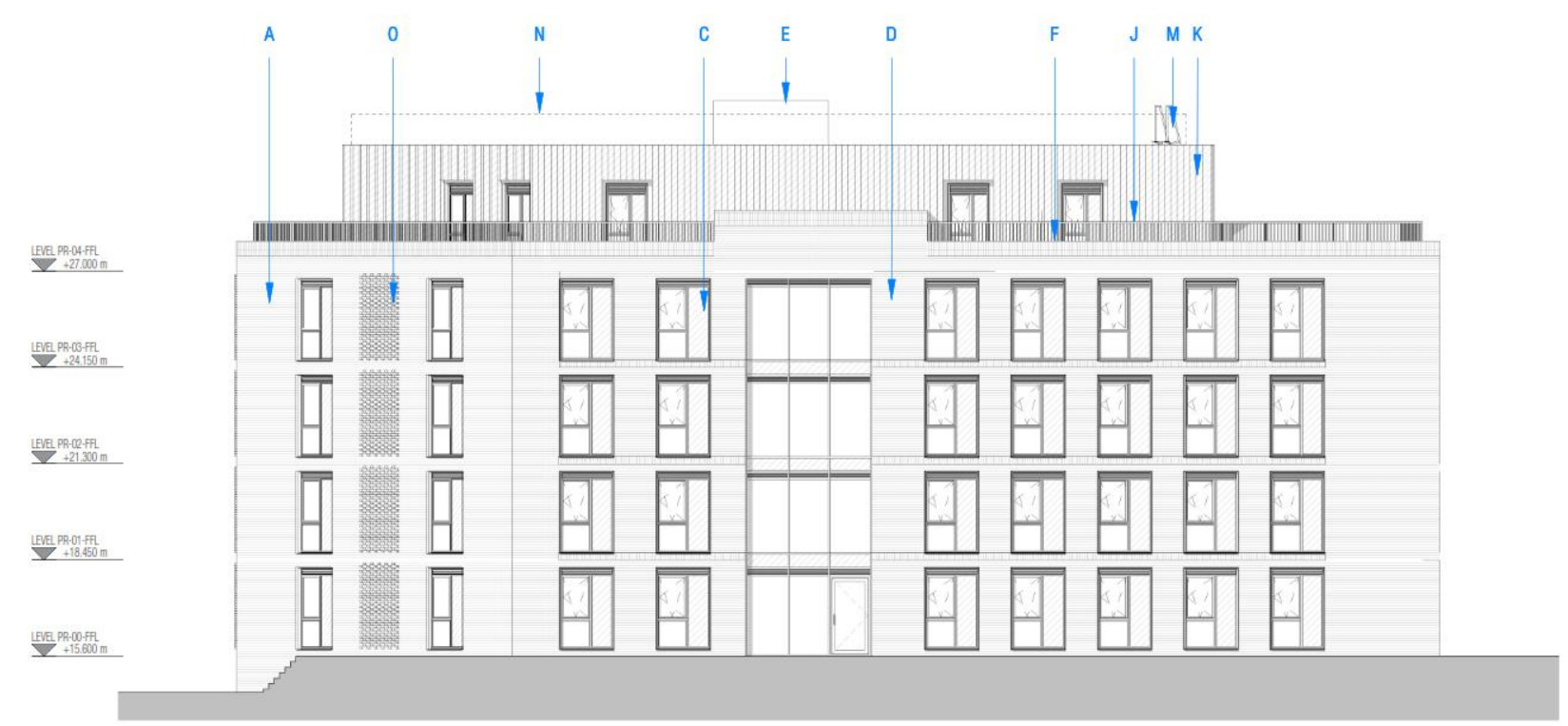
- MATERIAL KEY:**
- A. Main facing brickwork (colour TBC) with weather struck mortar joint.
 - B. PPC aluminium bronze effect cladding panel to Block C link building with vertical expressed joint detail (exact colour tbc).
 - C. PPC aluminium windows and doors with double glazed units (colour bronze effect). Panels where indicated by diagonal hatch are to be bronze look-a-like glass with solid insulated panels behind. Main entrance doors to be automatic. PPC loured panel integrated into window sections, where shown for ventilation.
 - D. PPC curtain walling system. Panels where indicated by diagonal hatch are to be bronze look-a-like glass with solid insulated panels behind, e.g. to conceal the slab edge. PPC loured panel integrated into curtain walling, where shown for ventilation.
 - E. Roof to be single ply membrane (colour dark grey/green). Lift overrun protection to be clad in matching finish.
 - F. Secret fix aluminium eaves/capping detail.
 - G. Feature pergola to courtyard spaces.
 - H. Feature brick panels or door (colour bronze effect to match PPC aluminium glazing system).
 - I. Indicative feature signage zone – final details to be confirmed by Operator.
 - J. Line of proposed edge protection set back behind parapet line.
 - K. Feature profiled metal cladding panel (colour bronze effect).
 - L. 2m high boundary fence (colour tbc).
 - M. Roof access ladder for maintenance access only.
 - N. Line of edge protection set back from top roof line suitable for maintenance access only.
 - O. Feature brick panel with projecting solid brick header detail. Brick colour to match main brick facade with weather struck mortar joint.
 - P. Horizontal solder course detail to edge of slab. Brick colour to match main brick facade with weather struck mortar joint.
 - Q. Feature brick tile and miss panel detail to form ventilation to plantroom.



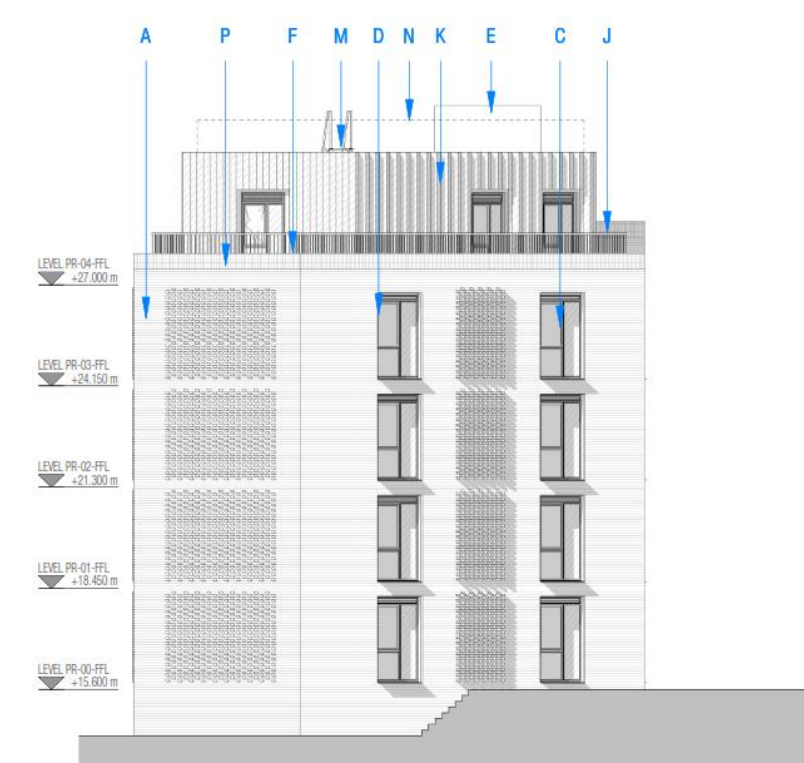
1 NORTH ELEVATION
A0020 1:100



2 EAST ELEVATION
A0020 1:100



3 SOUTH ELEVATION
A0020 1:100



4 WEST ELEVATION
A0020 1:100

NORTH

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PROJECT
COWLEY BRIDGE ROAD
EXETER

TITLE
**PROPOSED ELEVATIONS
BLOCK A**

SCALE
As indicated @ A0

DATE
16/11/22

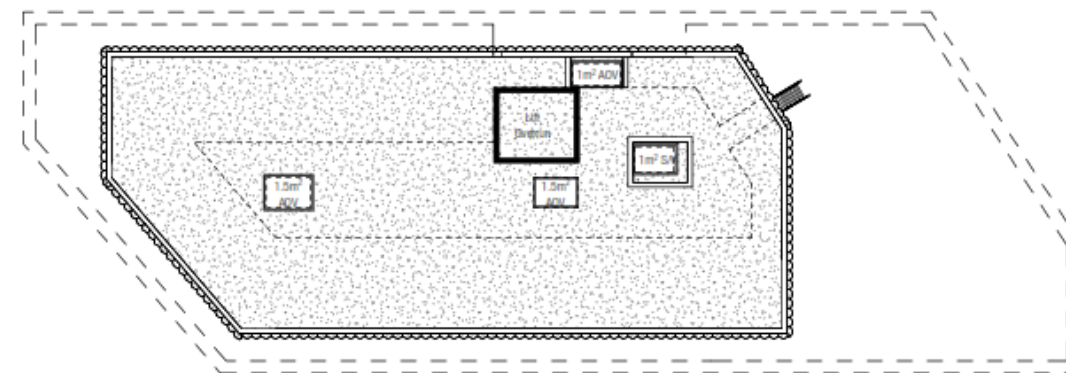
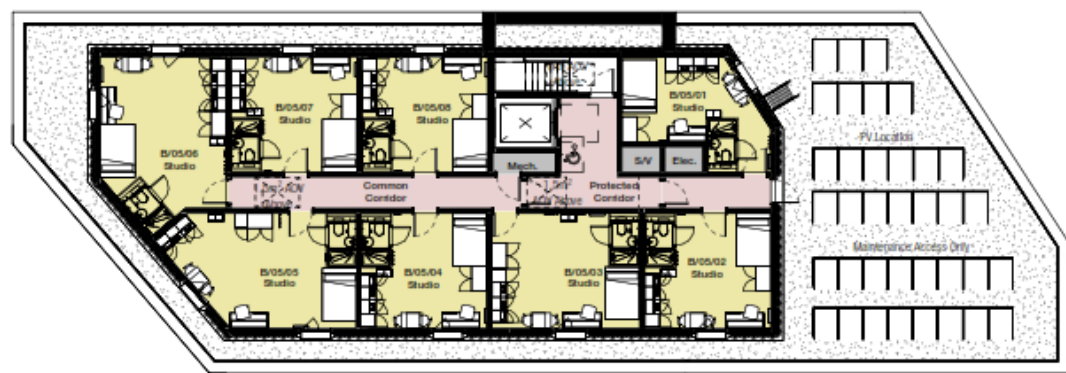
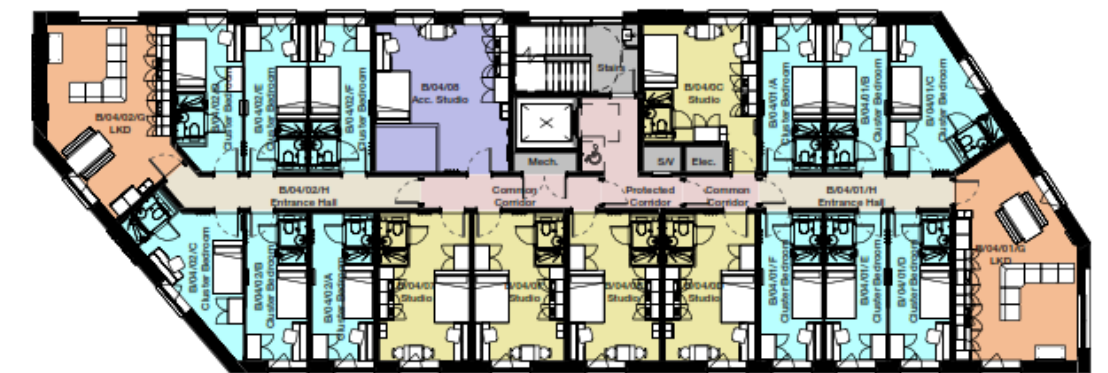
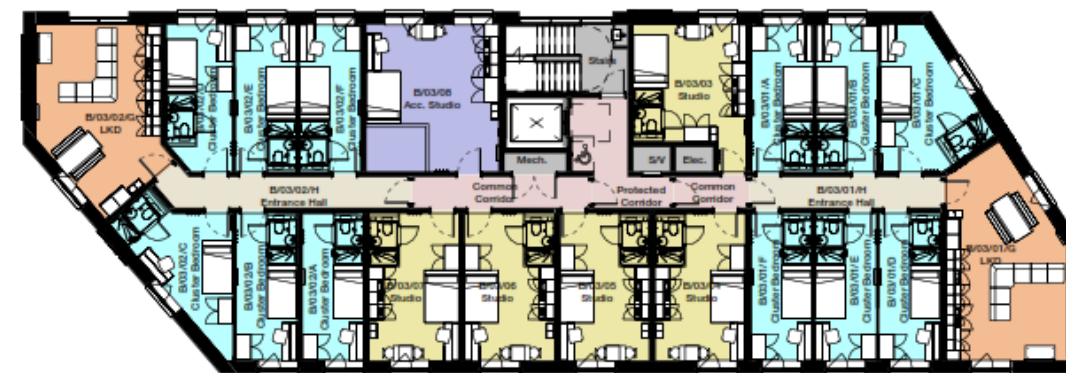
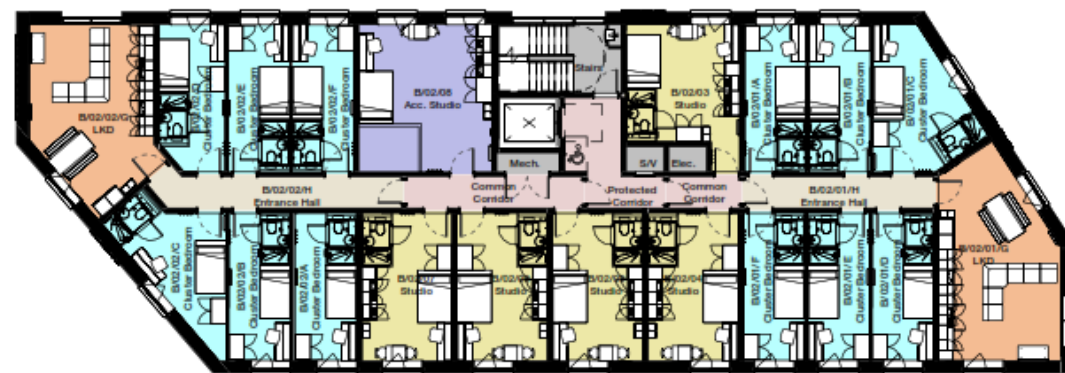
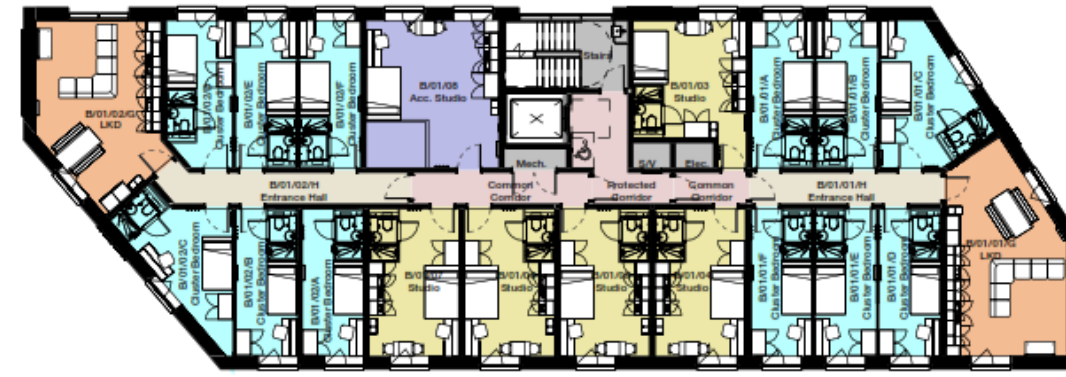
DRAWN
REVIEWED

KEY PLAN

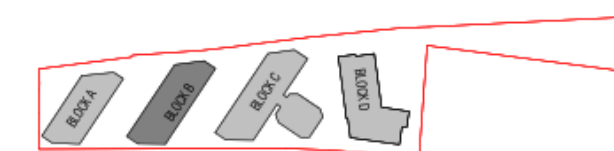
Elevations Block A

REVISIONS

A	DRAWING UPDATED TO SHOW LAYOUTS DEVELOPMENT	01/12/22 HS SS
B	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT	02/12/22 HS LB
C	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT	06/12/22 HS LB
D	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT	07/12/22 HS SS
E	MINOR UPDATE TO DRAWINGS FOLLOWING COMMENTS	16/12/22 LS SS
F	PLANNING ISSUE UPDATE	25/08/23 LB SS
G	DRAWINGS UPDATED IN LINE WITH ECC PLANNING COMMENTS	06/10/23 DS/SS



BUILDING KEY PLAN



NORTH



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PROJECT
COWLEY BRIDGE ROAD
EXETER

TITLE
PROPOSED FLOOR PLANS
BLOCK B

SCALE
As indicated @ A1

DATE
07/08/22

DRAWN
HS

REVIEWED
SS

DLA REF
2021-116

NUMBER
B0009

REVISION
G

STATUS
PLANNING

Room Key:

- Acc. Studio
- Cluster Bedroom
- Corridor
- Living/Kitchens/Dining
- Bm Store
- Core
- Entrance Hall
- Studio

Room Key:

- Acc. Studio
- Core
- Entrance Hall
- Studio
- Cluster Bedroom
- Corridor
- Living/Kitchens/Dining

GROUND FLOOR PLAN

1 : 200

FIRST FLOOR PLAN

1 : 200

SECOND FLOOR PLAN

1 : 200

THIRD FLOOR PLAN

1 : 200

FOURTH FLOOR PLAN

1 : 200

FIFTH FLOOR PLAN

1 : 200

ROOF PLAN

1 : 200

MATERIAL KEY:

- A. Main facing brickwork (colour TBC) with weather struck mortar joint.
- B. PPC aluminium bronze effect cladding panel to Block C link building with vertical expressed joint detail (exact colour tbc).
- C. PPC aluminium windows and doors with double glazed units (colour bronze effect). Panels where indicated by diagonal hatch are to be bronze look-a-like glass with solid insulated panels behind. Main entrance doors to be automatic PPC loured panel integrated into window sections, where shown for ventilation.
- D. PPC curtain walling system. Panels where indicated by diagonal hatch are to be bronze look-a-like glass with solid insulated panels behind, e.g. to conceal the slab edge. PPC loured panel integrated into curtain walling, where shown for ventilation.
- E. Roof to be single ply membrane (colour dark grey/green). Lift overrun protection to be clad in matching finish.
- F. Secret fix aluminium eaves/capping detail.
- G. Feature pergola to courtyard spaces.
- H. PPC loured panels or door (colour bronze effect to match PPC aluminium glazing system).
- I. Indicative feature signage zone – final details to be confirmed by Operator.
- J. Line of proposed edge protection set back behind parapet line.
- K. Feature profiled metal cladding panel (colour bronze effect).
- L. 2m high boundary fence (colour tbc).
- M. Roof access ladder for maintenance access only.
- N. Line of edge protection set back from top roof line suitable for maintenance access only.
- O. Feature brick panel with projecting solid brick header detail. Brick colour to match main brick facade with weather struck mortar joint.
- P. Horizontal soldier course detail to edge of slab. Brick colour to match main brick facade with weather struck mortar joint.
- Q. Feature brick hit and miss panel detail to form ventilation to plantroom.

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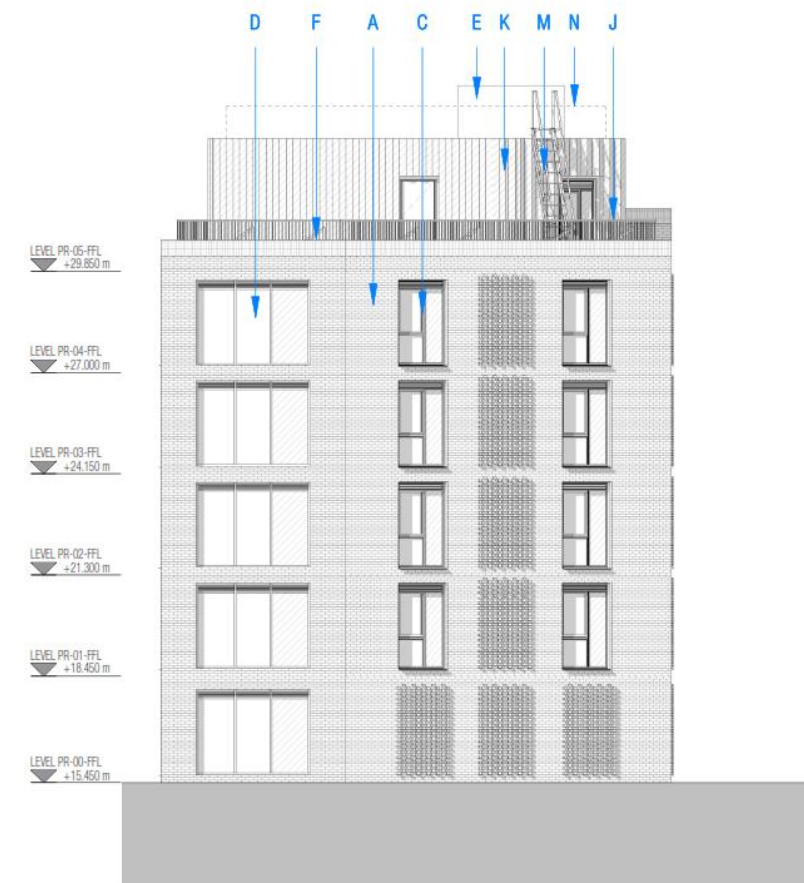
DO NOT SCALE, REFER TO FIGURED DIMENSIONS ONLY

REVISIONS

REVISION	DATE	BY
A	02/12/22	HS/LB
B	06/12/22	HS/LB
C	07/12/22	HS/SS
D	16/12/22	LS/SS
E	18/01/23	LS/SS
F	25/02/23	LS/SS
G	08/10/23	OG/SS



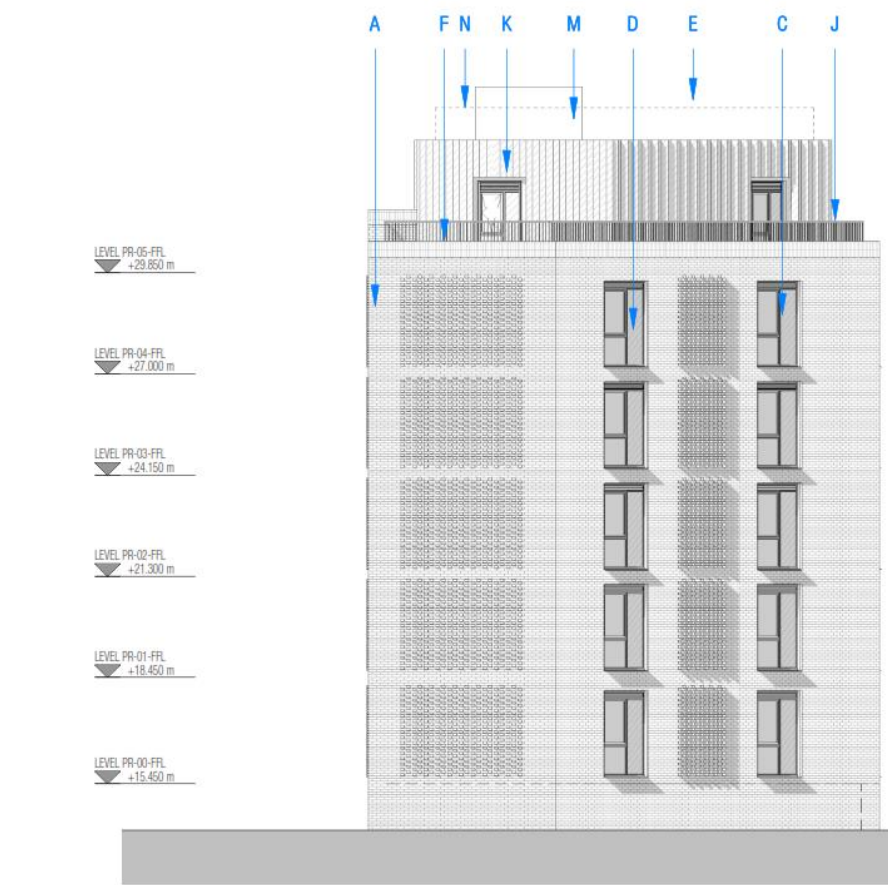
1 NORTH ELEVATION
B0020 1:100



2 EAST ELEVATION
B0020 1:100



3 SOUTH ELEVATION
B0020 1:100



4 WEST ELEVATION
B0020 1:100

KEY PLAN
1:500

PROJECT
COWLEY BRIDGE ROAD
EXETER

TITLE
PROPOSED ELEVATIONS
BLOCK B

SCALE
As indicated @ A0

DATE
16/11/22

DRAWN
HS

REVIEWED
SS

DLA REF
2021-116

NUMBER
B0020

REVISION
G

STATUS
PLANNING

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REVISIONS

A	DRAWING UPDATED TO SHOW LAYOUTS DEVELOPMENT	01/12/22 HS SS
B	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT	02/12/22 HS LB
C	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT	06/12/22 HS LB
D	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT	07/12/22 HS SS
E	MINOR UPDATE TO DRAWINGS FOLLOWING COMMENTS	16/12/22 LS SS
F	PLANNING ISSUE UPDATE	25/08/23 LS SS
G	DRAWINGS UPDATED IN LINE WITH ECC PLANNING COMMENTS	16/10/23 DG/SS

Room Key:

- Bin Store
- Core
- Corridor
- Plant
- Store
- Student Ancillary

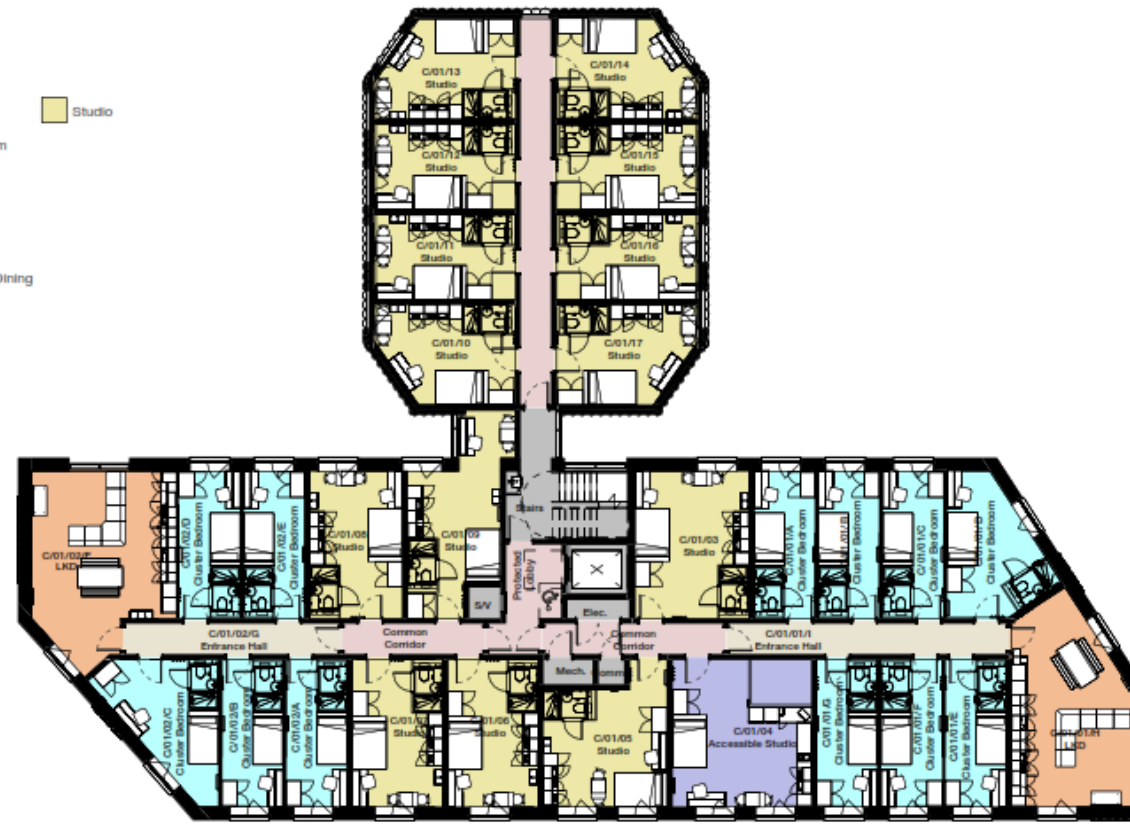


GROUND FLOOR PLAN

1: 200

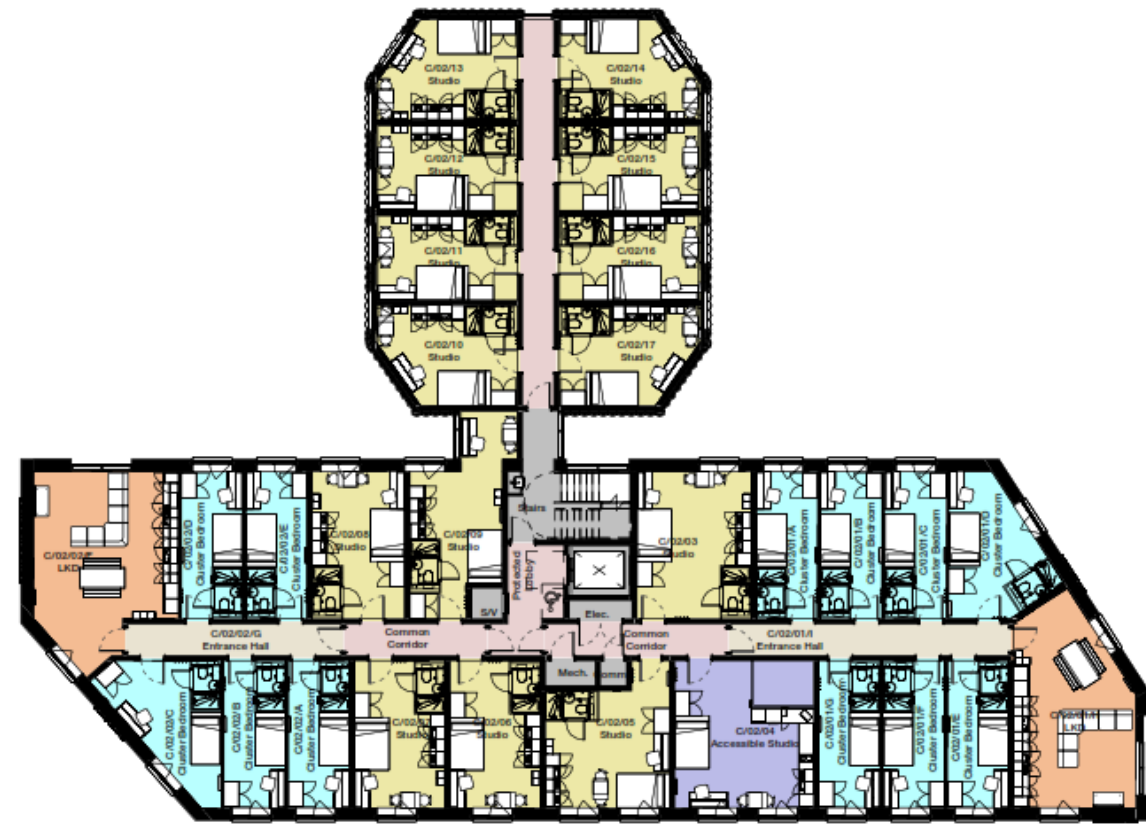
Room Key:

- Acc. Studio
- Cluster Bedroom
- Core
- Corridor
- Entrance Hall
- Living/Kitchen/Dining
- Studio



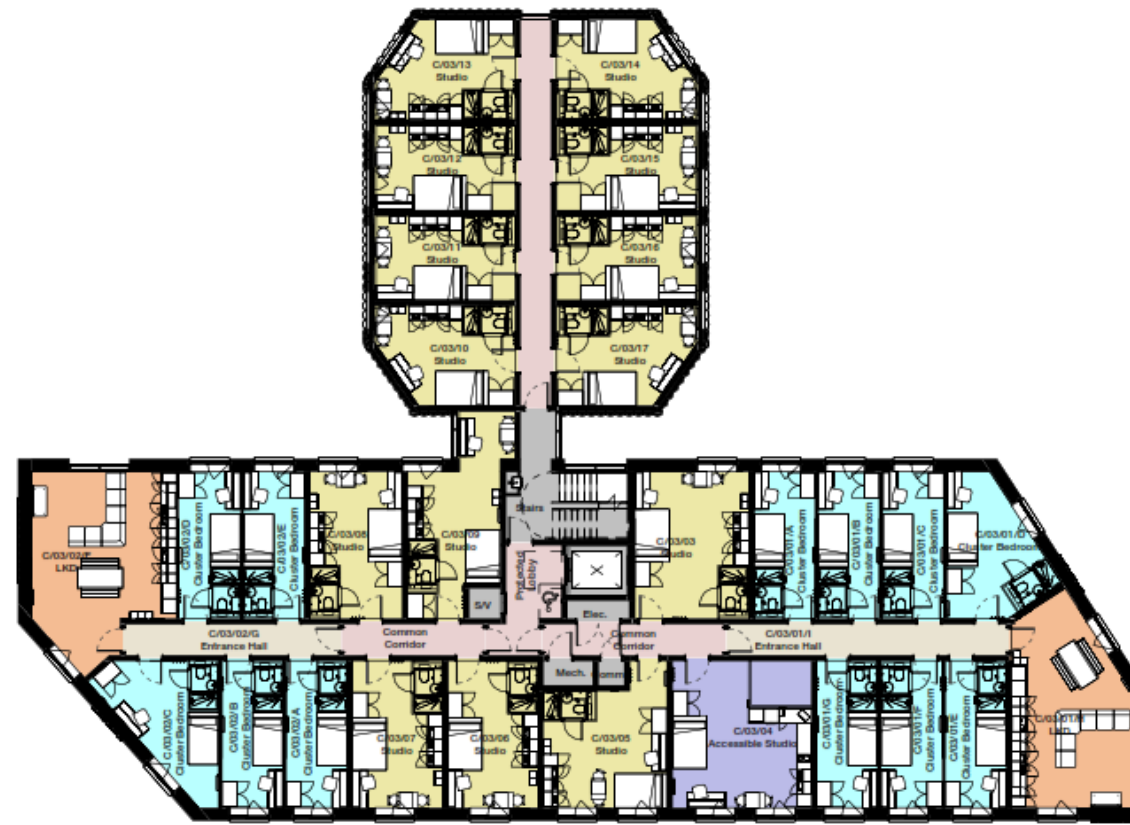
FIRST FLOOR PLAN

1: 200



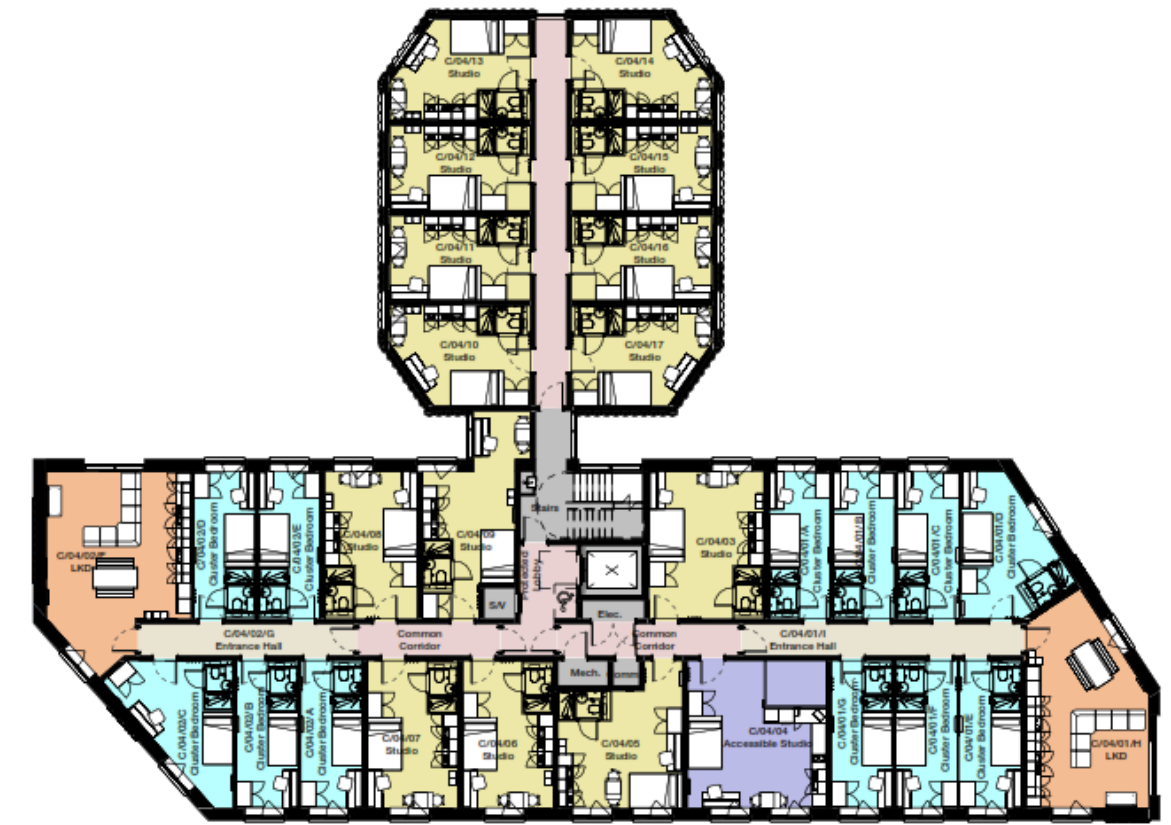
SECOND FLOOR PLAN

1: 200



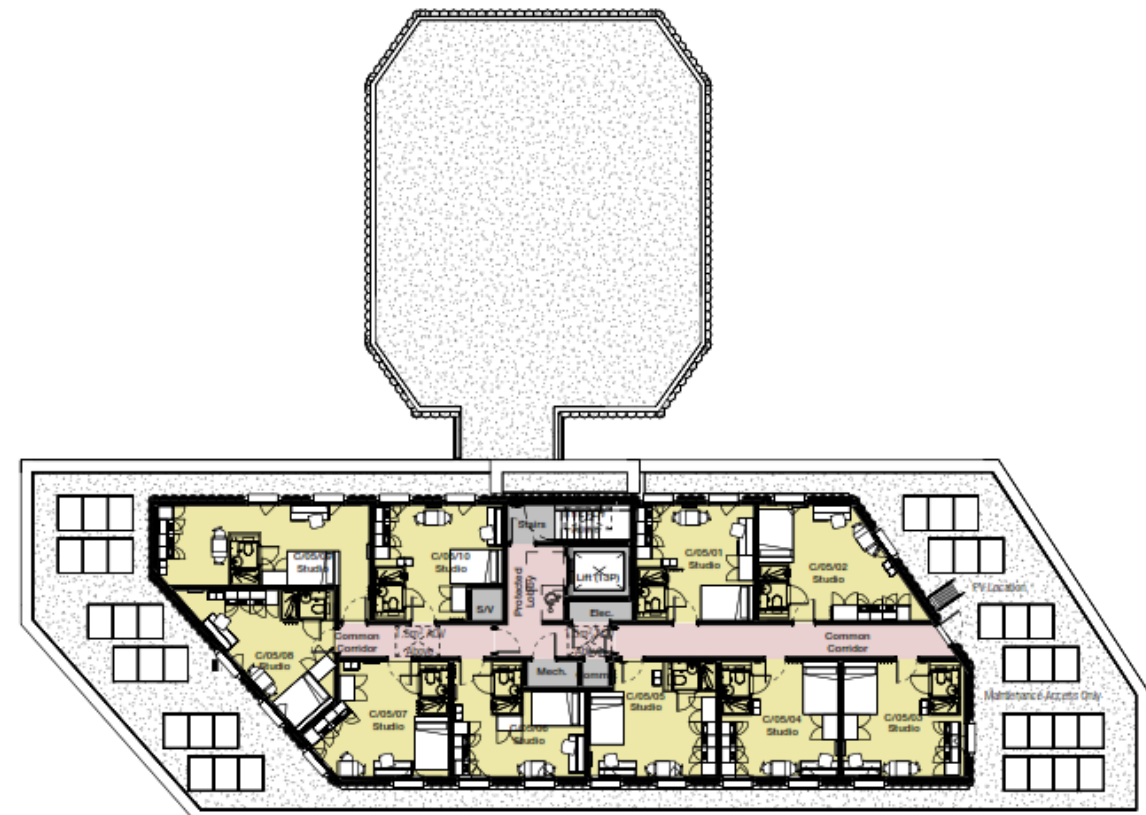
THIRD FLOOR PLAN

1: 200



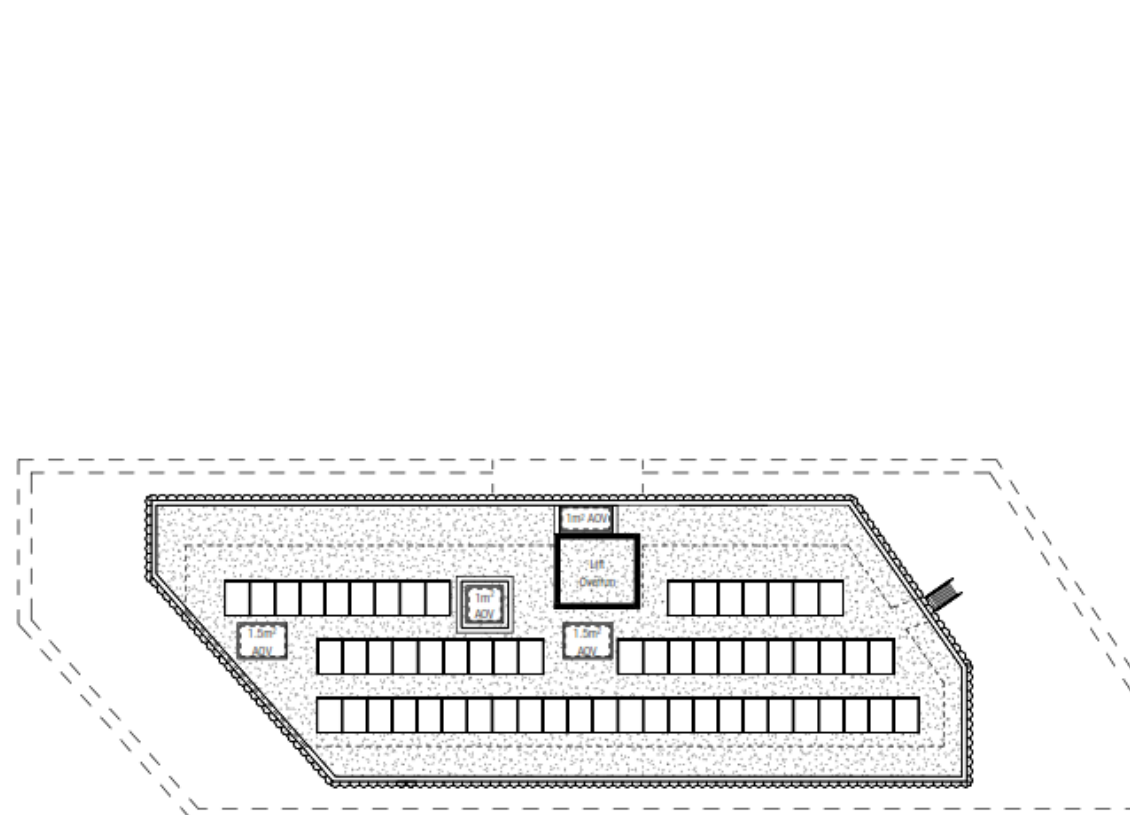
FOURTH FLOOR PLAN

1: 200



FIFTH FLOOR PLAN

1: 200



ROOF PLAN

1: 200

BUILDING KEY PLAN



NORTH



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PROJECT
COWLEY BRIDGE ROAD
EXETER

TITLE
**PROPOSED FLOOR PLANS
BLOCK C**

SCALE
As indicated @ A1

DATE
30/11/22

DRAWN
HS

REVIEWED
LB

DLA REF
2021-116

NUMBER
C0009

REVISION
G

STATUS
PLANNING

- MATERIAL KEY:**
- A. Main facing brickwork (colour TBC) with weather struck mortar joint.
 - B. PPC aluminium bronze effect cladding panel to Block C link building with vertical expressed joint detail (exact colour tbc).
 - C. PPC aluminium windows and doors with double glazed units (colour bronze effect). Panels where indicated by diagonal hatch are to be bronze look-a-like glass with solid insulated panels behind. Main entrance doors to be automatic. PPC loured panel integrated into window sections, where shown for ventilation.
 - D. PPC curtain walling system. Panels where indicated by diagonal hatch are to be bronze look-a-like glass with solid insulated panels behind. Main entrance doors, where shown for ventilation. PPC loured panel integrated into curtain walling, where shown for ventilation.
 - E. Roof to be single ply membrane (colour dark grey/green). Lift overrun protection to be clad in matching finish.
 - F. Secret fix aluminium eaves/capping detail.
 - G. Feature pergola to courtyard spaces.
 - H. PPC loured panels or door (colour bronze effect to match PPC aluminium glazing system).
 - I. Indicative feature signage zone – final details to be confirmed by Operator.
 - J. Line of proposed edge protection set back behind parapet line.
 - K. Feature profiled metal cladding panel (colour bronze effect).
 - L. 2m high boundary fence (colour tbc).
 - M. Roof access ladder for maintenance access only.
 - N. Line of edge protection set back from top roof line suitable for maintenance access only.
 - O. Feature brick panel with projecting solid brick header detail. Brick colour to match main brick facade with weather struck mortar joint.
 - P. Horizontal soldier course detail to edge of slab. Brick colour to match main brick facade with weather struck mortar joint.
 - Q. Feature brick hit and miss panel detail to form ventilation to plantroom.

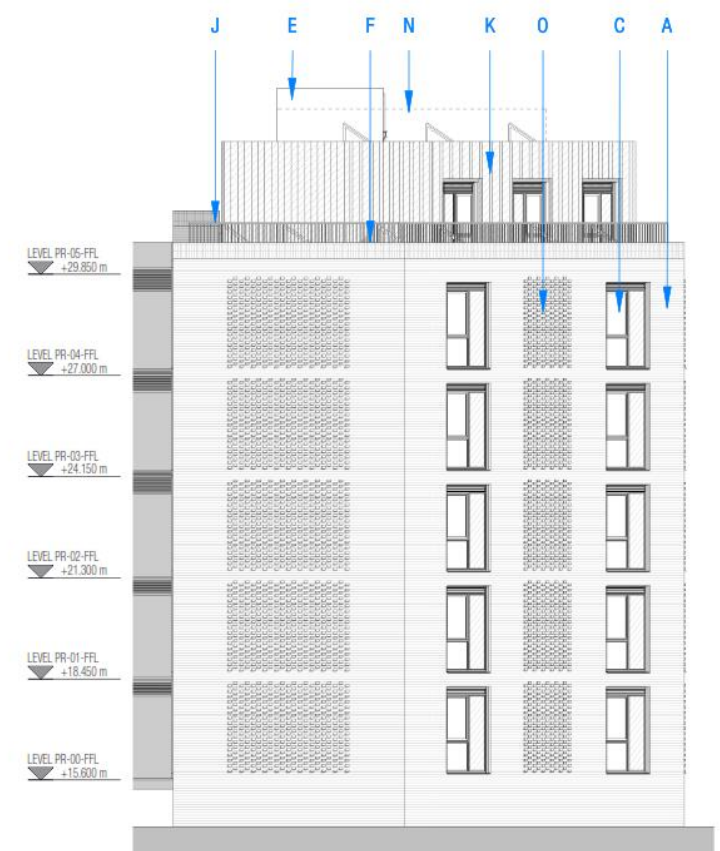
DO NOT SCALE, REFER TO FIGURED DIMENSIONS ONLY

REVISIONS

NO	DESCRIPTION	DATE
A	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT	06/10/22
B	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT	07/12/22
C	MINOR UPDATES TO DRAWINGS FOLLOWING COMMENTS	16/12/22
D	MINOR UPDATES TO MATERIAL KEY FOLLOWING COMMENTS	18/01/23
E	PLANNING ISSUE UPDATE WITH ECC PLANNING COMMENTS	26/06/23
F	DRAWINGS UPDATED IN LINE WITH ECC PLANNING COMMENTS	16/10/23



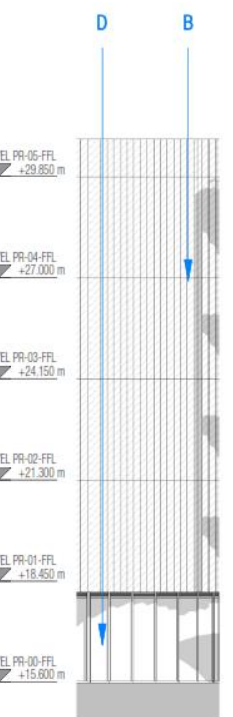
A ELEVATION A
1:100



B ELEVATION B
1:100



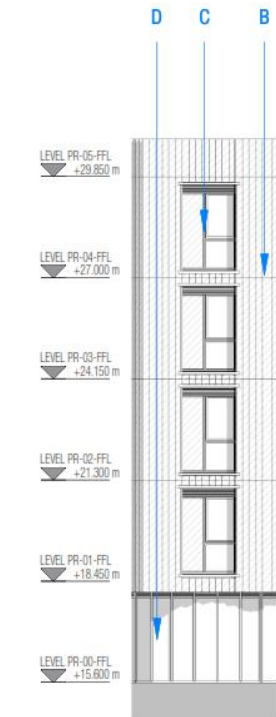
C ELEVATION C
1:100



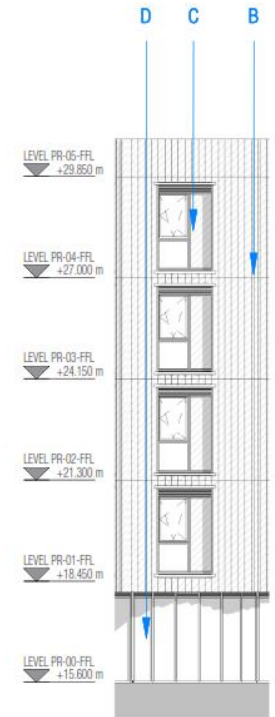
D ELEVATION D
1:100



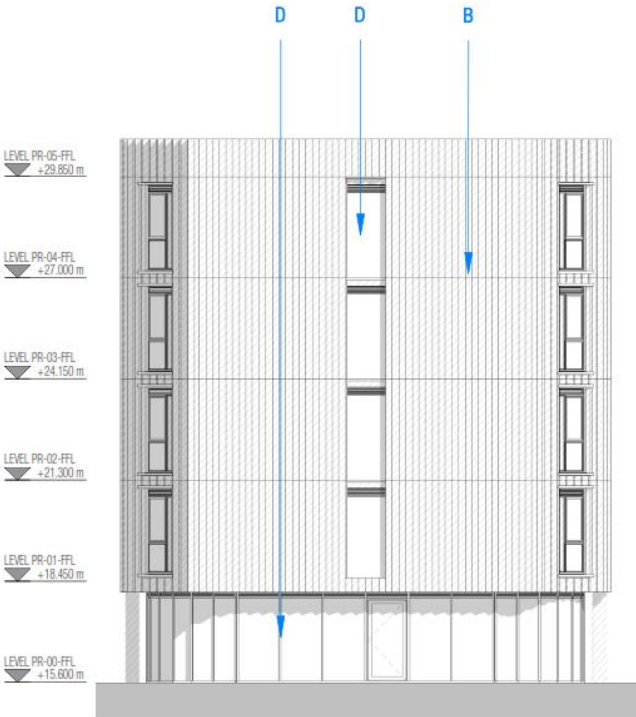
E ELEVATION E
1:100



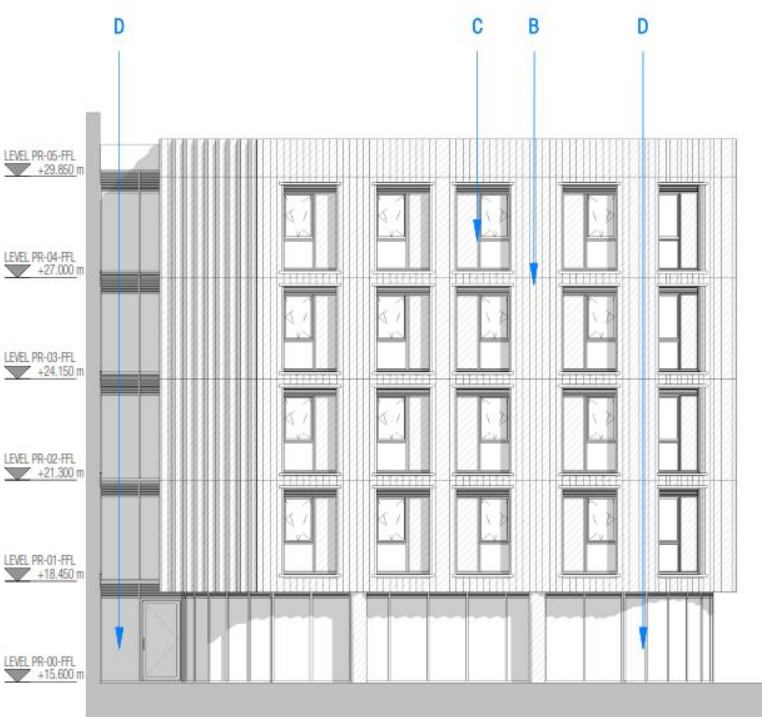
F ELEVATION F
1:100



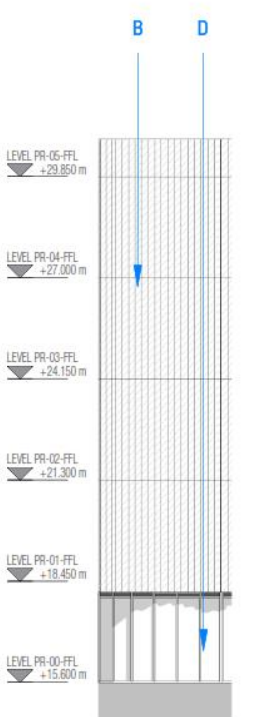
G ELEVATION G
1:100



H ELEVATION H
1:100



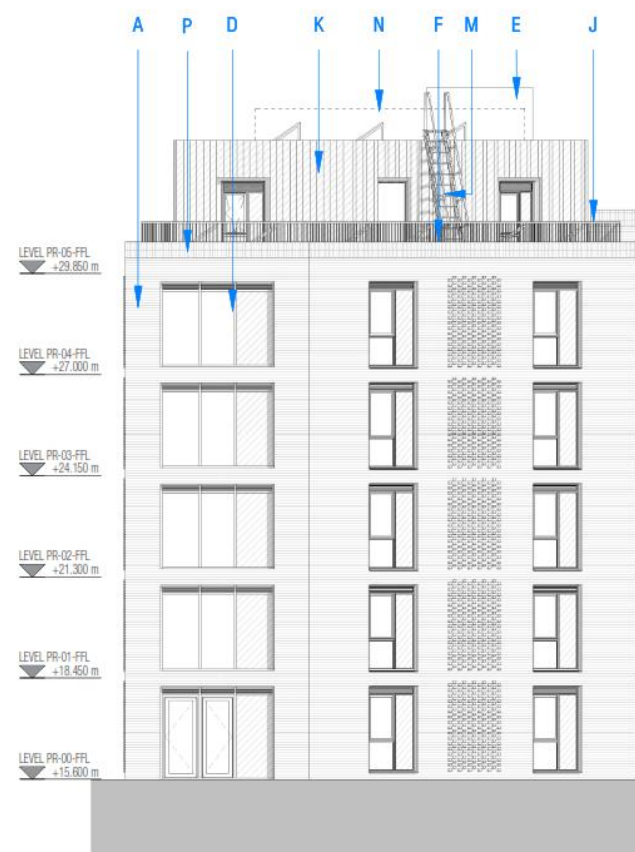
I ELEVATION I
1:100



J ELEVATION J
1:100



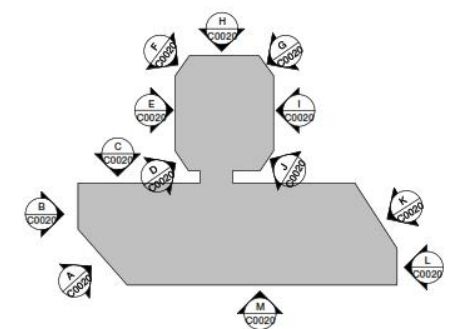
K ELEVATION K
1:100



L ELEVATION L
1:100



M ELEVATION M
1:100



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PROJECT
COWLEY BRIDGE ROAD EXETER

TITLE
PROPOSED ELEVATIONS BLOCK C

SCALE
As indicated @ A0

DATE
07/08/22

DRAWN
RP

REVIEWED
SS

DLA REF
2021-116

NUMBER
C0020

REVISION
F

STATUS
PLANNING

REVISIONS

A	DRAWING UPDATED TO SHOW LAYOUTS DEVELOPMENT	01/12/22 HS/SS
B	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT	02/12/22 HS/LB
C	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT	06/12/22 HS/LB
D	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT	07/12/22 HS/SS
E	MINOR UPDATE TO DRAWINGS FOLLOWING COMMENTS	16/12/22 LS/SS
F	MINOR UPDATE TO LOCATION OF CORE	19/04/23 LS/SS
G	PLANNING ISSUE UPDATE.	25/08/23 LS/SS
H	DRAWINGS UPDATED IN LINE WITH ECC PLANNING COMMENTS	16/10/23 DG/SS



BASEMENT FLOOR PLAN
1 : 200



GROUND FLOOR PLAN
1 : 200

Room Key:

 Acc. Studio	 Entrance Hall	 Void
 Cluster Bedroom	 Living/Kitchen/Dining	
 Core	 Plant	
 Corridor	 Studio	



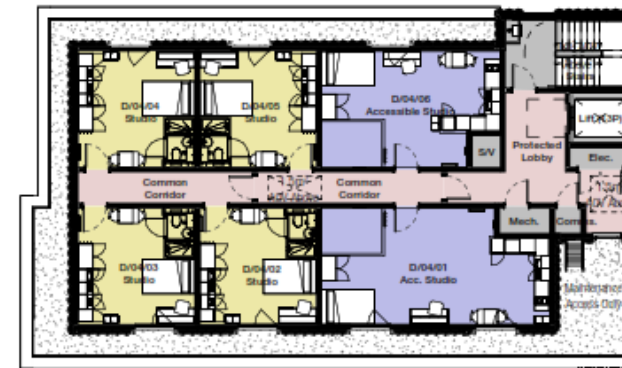
FIRST FLOOR PLAN
1 : 200



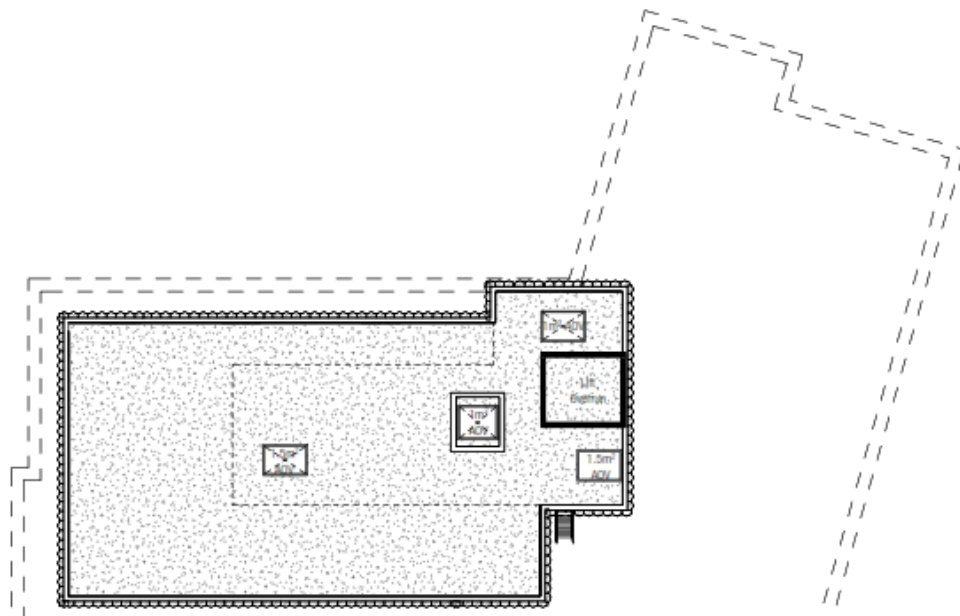
SECOND FLOOR PLAN
1 : 200



THIRD FLOOR PLAN
1 : 200



FOURTH FLOOR PLAN
1 : 200



BUILDING KEY PLAN



NORTH



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PROJECT
COWLEY BRIDGE ROAD
EXETER

TITLE
**PROPOSED FLOOR PLAN
BLOCK D**

SCALE
As indicated @ A1

DATE
30/11/22

DRAWN
HS

REVIEWED
LB

CLASS NUMBER REVISION

MATERIAL KEY:

- A. Main facing brickwork (colour TSC) with weather struck mortar joint.
- B. PPC aluminium bronze effect cladding panel to Block C link building with vertical expressed joint detail (exact colour tbc).
- C. PPC aluminium windows and doors with double glazed units (colour bronze effect). Panels where indicated by diagonal hatch are to be bronze look-a-like glass with solid insulated panels behind. Main entrance doors to be automatic. PPC loured panel integrated into window sections, where shown for ventilation.
- D. PPC curtain walling system. Panels where indicated by diagonal hatch are to be bronze look-a-like glass with solid insulated panels behind, e.g. to conceal the slab edge. PPC loured panel integrated into curtain walling, where shown for ventilation.
- E. Roof to be single ply membrane (colour dark grey/green). Lift overrun protection to be clad in matching finish.
- F. Secret fix aluminium rainscreening detail.
- G. Feature pergola to courtyard spaces.
- H. PPC loured panels or door (colour bronze effect to match PPC aluminium glazing system).
- I. Indicative feature signage zone – final details to be confirmed by Operator.
- J. Line of proposed edge protection set back behind parapet line.
- K. Feature profiled metal cladding panel (colour bronze effect).
- L. 2m high boundary fence (colour tbc).
- M. Roof access ladder for maintenance access only.
- N. Line of edge protection set back from top roof line suitable for maintenance access only.
- O. Feature brick panel with projecting solid brick header detail. Brick colour to match main brick facade with weather struck mortar joint.
- P. Horizontal solder course detail to edge of slab. Brick colour to match main brick facade with weather struck mortar joint.
- Q. Feature brick hit and miss panel detail to form ventilation to plantroom.

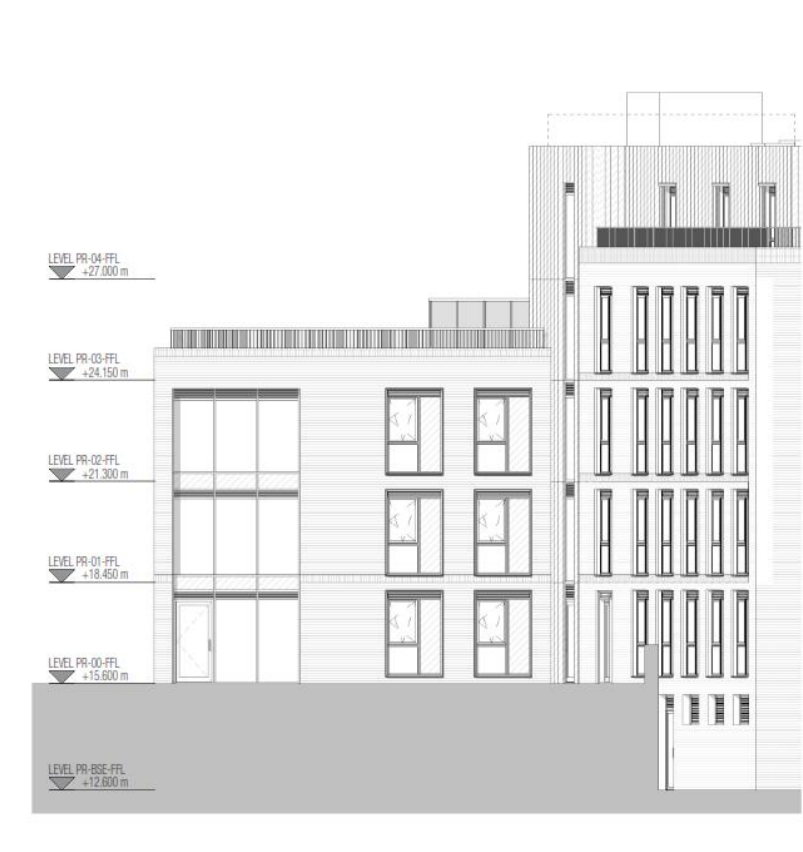
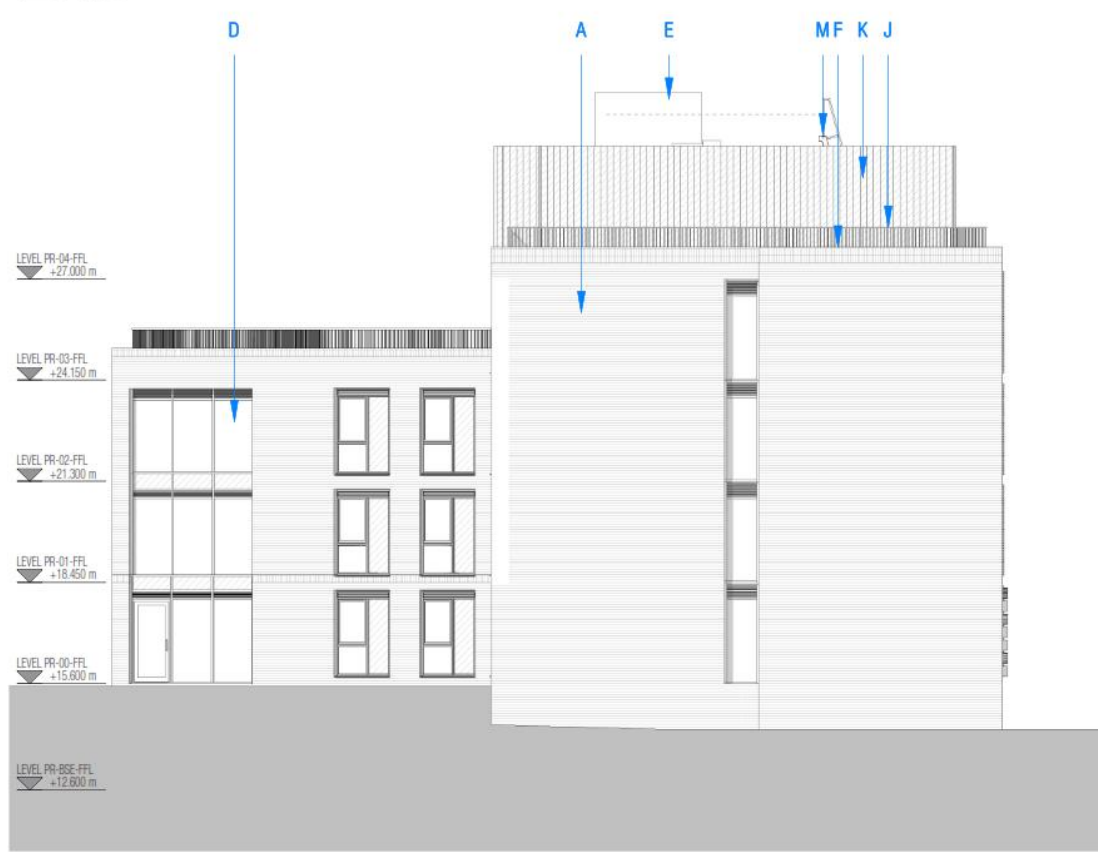
REVISIONS

NO.	DESCRIPTION	DATE
A	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT	06/12/22 HS/LB
B	DRAWINGS UPDATED FOLLOWING DESIGN DEVELOPMENT	07/12/22 HS/SB
C	MINOR UPDATES TO DRAWINGS FOLLOWING COMMENTS	16/12/22 LS/SB
D	MINOR UPDATES TO MATERIAL KEY FOLLOWING COMMENTS	16/01/23 LS/SB
E	MINOR UPDATES TO LOCATION OF CORE	16/01/23 LS/SB
F	PLANNING ISSUE UPDATE	25/09/23 LS/SB
G	DRAWINGS UPDATED IN LINE WITH ECC PLANNING COMMENTS	16/10/23 LS/SB



1 EAST ELEVATION
D0020 1:100

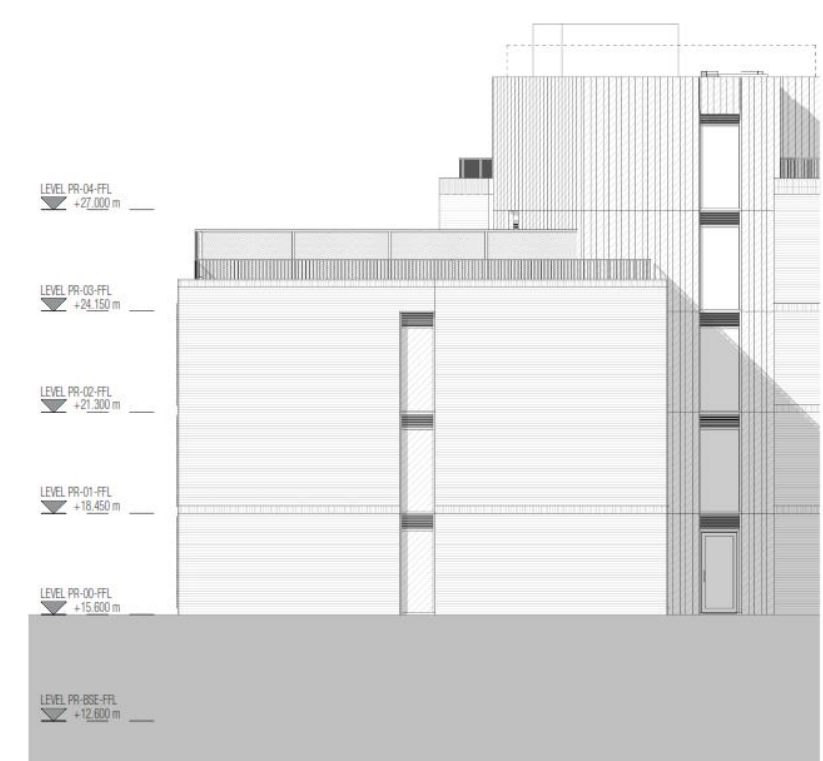
2 SOUTH ELEVATION
D0020 1:100



3 WEST ELEVATION
D0020 1:100

4 NORTH ELEVATION
D0020 1:100

5 ELEVATION E
D0020 1:100



NORTH



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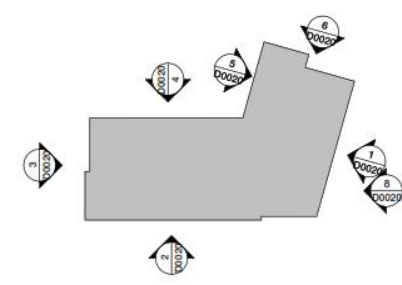
PROJECT
COWLEY BRIDGE ROAD
EXETER

TITLE
PROPOSED ELEVATIONS
BLOCK D

SCALE
As indicated @ A0

DATE
16/11/22

DRAWN REVIEWED



Elevations Block D

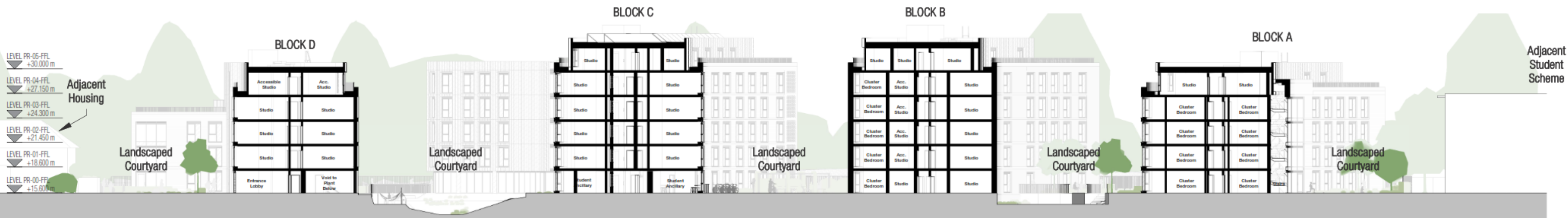
REVISIONS

A	DRAWINGS SPLIT OVER TWO SHEETS (0130 & 0131)	28/11/22 HS/SS
B	DRAWINGS UPDATED TO SHOW IMPROVED GRAPHICS	09/12/22 LS/LE
C	MINOR UPDATE TO PROPOSED LEVELS & LANDSCAPING BETWEEN BLOCKS D & E	16/12/22 LS/SS
D	PLANNING ISSUE UPDATE.	25/08/23 LB/SS
E	DRAWINGS UPDATED IN LINE WITH ECC PLANNING COMMENTS	16/10/23 DG/SS



SITE SECTION 1 (Looking Towards the Railway Line)

1 : 250



SITE SECTION 2 (Looking Towards Cowley Bridge Road)

1 : 250

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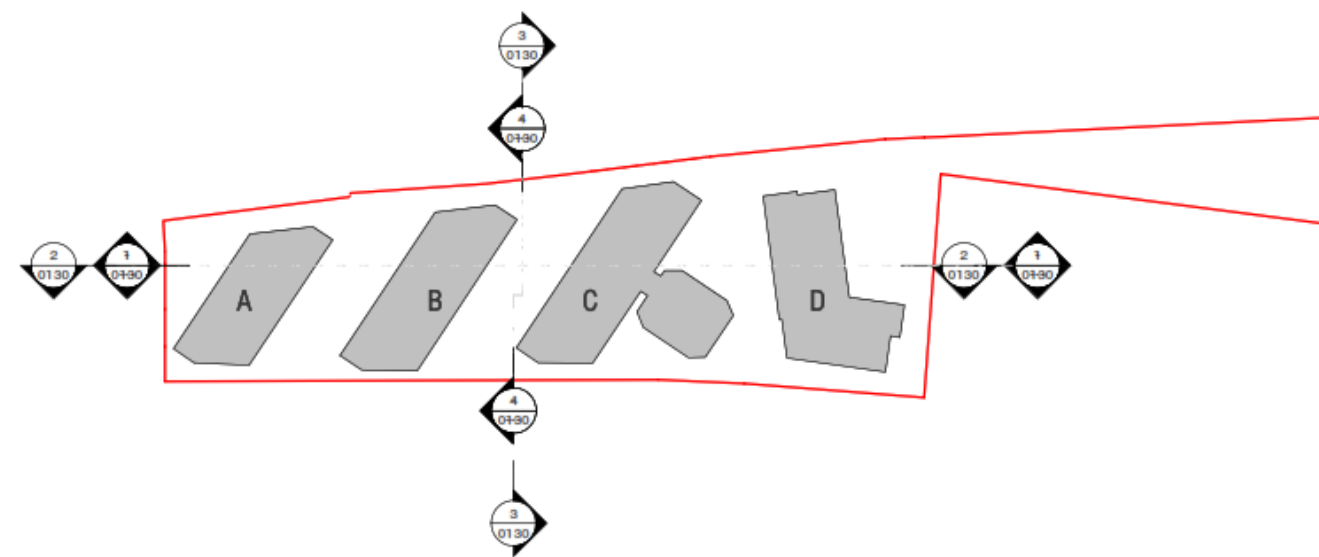
SITE SECTION 3 (Through Landscaped Courtyard)

1 : 250



SITE SECTION 4 (Through Landscaped Courtyard)

1 : 250



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PROJECT
COWLEY BRIDGE ROAD
EXETER

TITLE
PROPOSED SITE SECTIONS
(1 OF 2)

SCALE
As indicated @ A1

DATE
11/07/22

DRAWN
LS

REVIEWED
SS

Site Sections

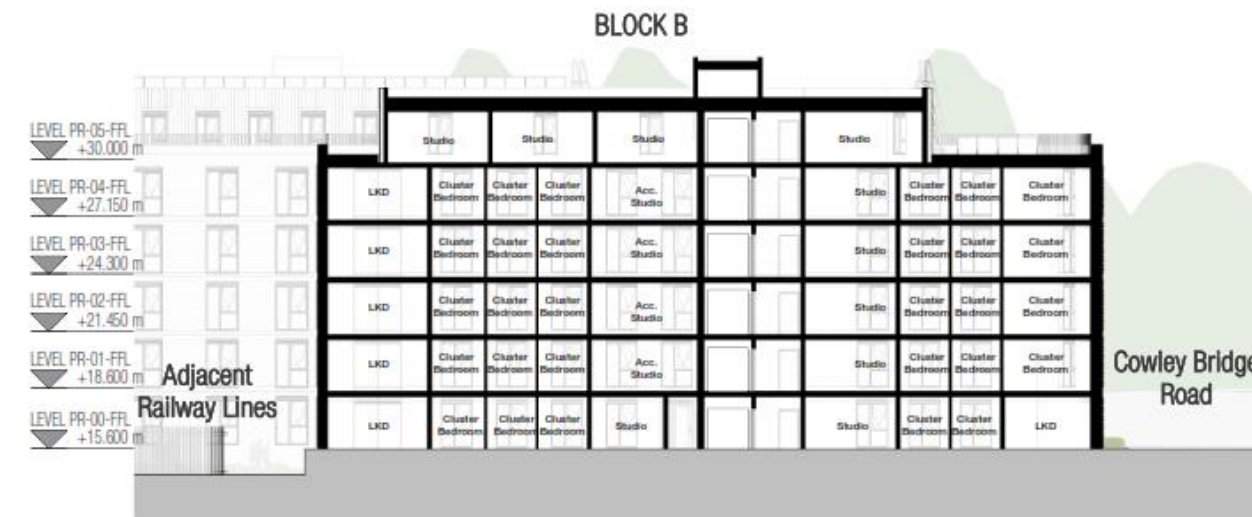
REVISIONS

A	DRAWINGS UPDATED TO SHOW IMPROVED GRAPHICS	09/12/22 LS/LB
B	MINOR UPDATE TO PROPOSED LEVELS & LANDSCAPING BETWEEN BLOCKS D & E	16/12/22 LS/SS
C	PLANNING ISSUE UPDATE.	25/08/23 LB/SS
D	DRAWINGS UPDATED IN LINE WITH ECC PLANNING COMMENTS	16/10/23 DG/SS



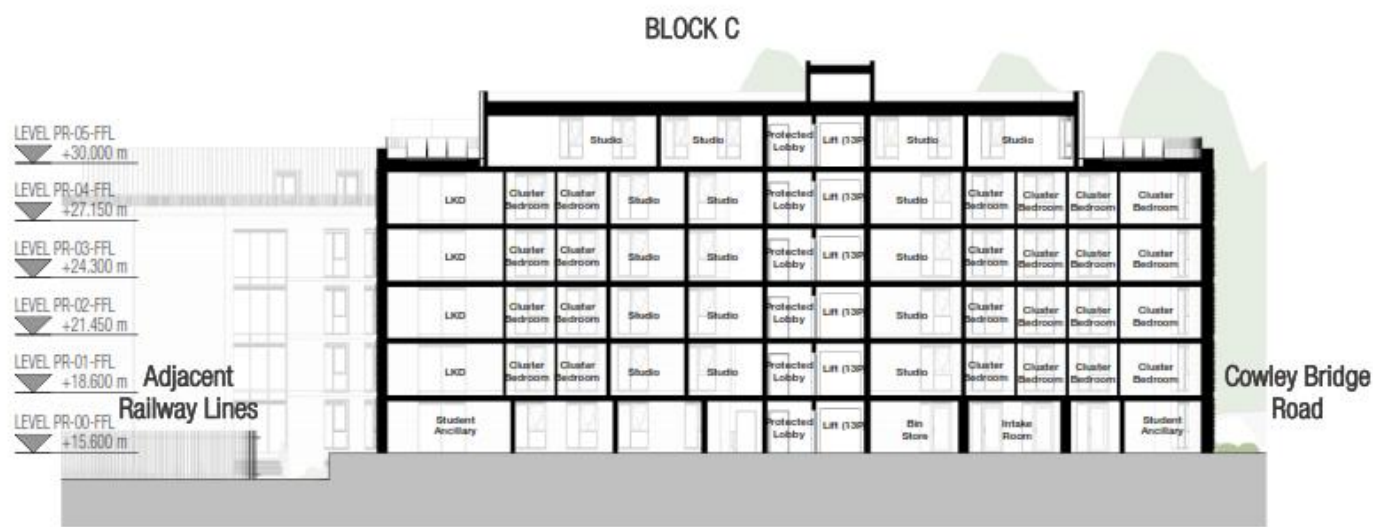
SITE SECTION A (Through Block A)

1 : 250



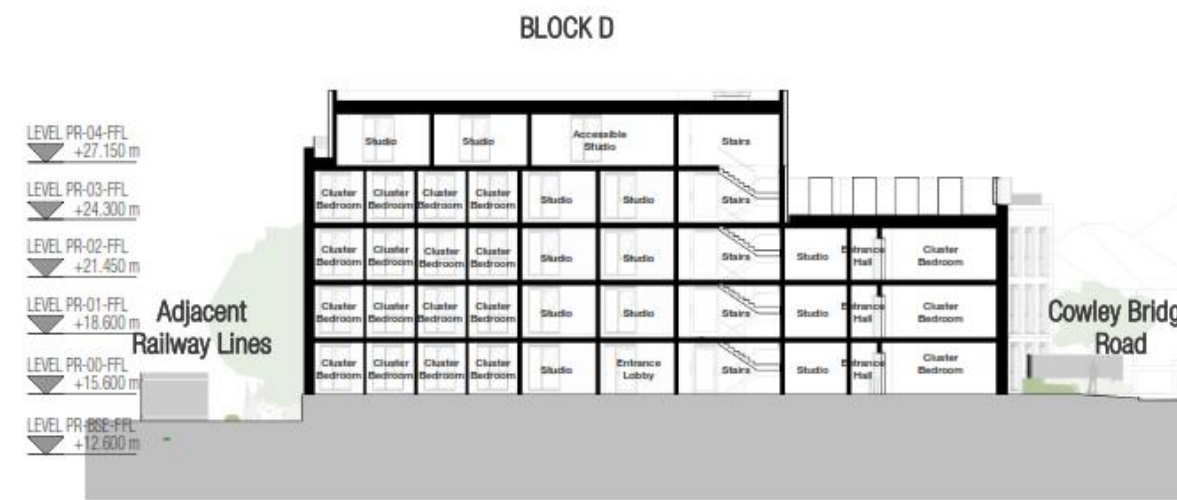
SITE SECTION B (Through Block B)

1 : 250



SITE SECTION C (Through Block C)

1 : 250



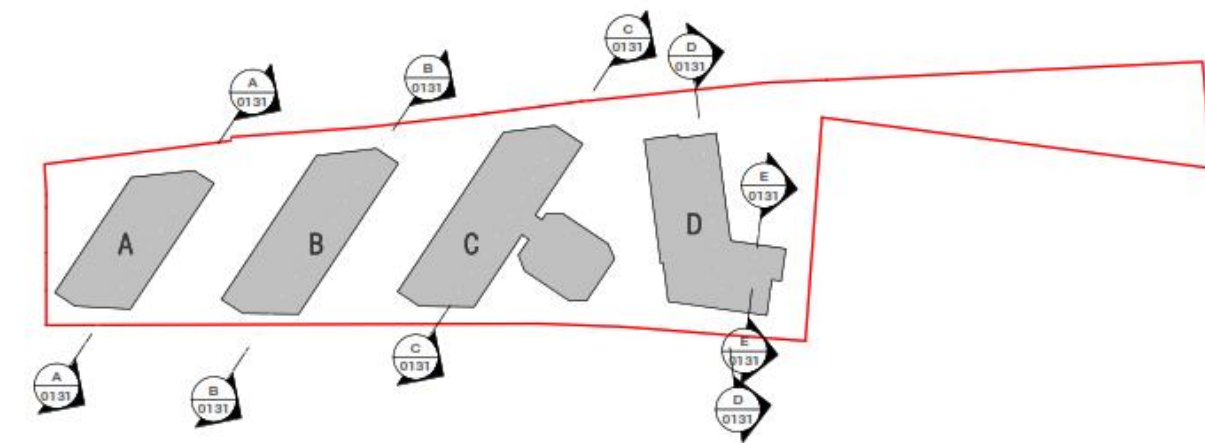
SITE SECTION D (Through Block D)

1 : 250



SITE SECTION E (Through Block D)

1 : 250



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PROJECT
COWLEY BRIDGE ROAD
EXETER

TITLE
PROPOSED SITE SECTIONS
(2 OF 2)

SCALE
As indicated @ A1

DATE
11/07/22

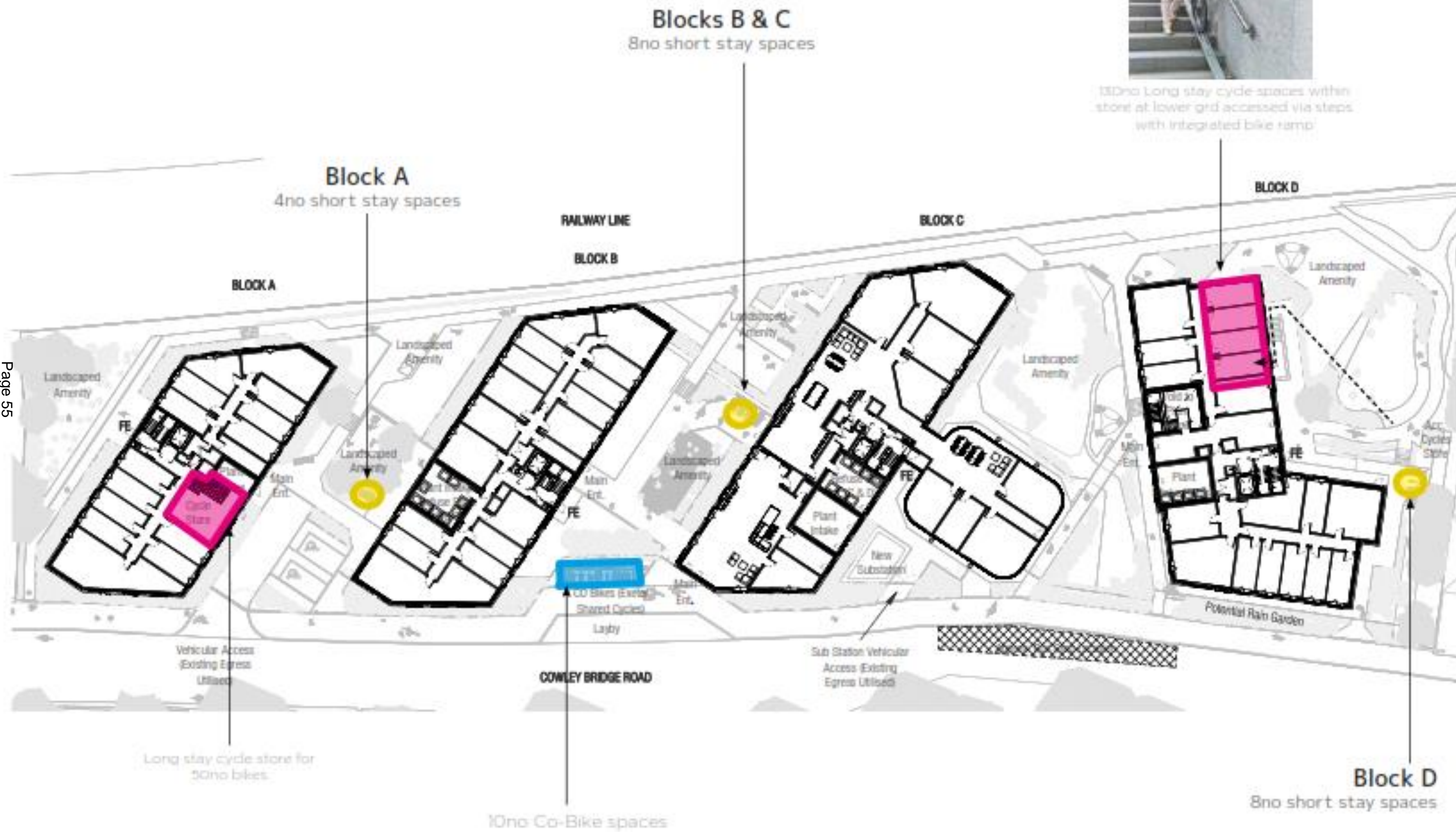
DRAWN
LS

REVIEWED
SS

CLASSIFICATION NUMBER REVISION



13D No Long stay cycle spaces within store at lower grd accessed via steps with integrated bike ramp



Page 55



CONCEPT VIEW | BLOCK C LINK BLOCK

Bronze effect profiled metal cladding to link block & inset top floors.



Perforated bronze effect screen to ASHP enclosure, set behind the brick parapet upstand.



BOUNDARY TREATMENT | FEATURE LOCATIONS



Feature panels within boundary treatment & wider landscaped border to enable more mature planting to establish



Examples of decorative panels

Feature on vehicular

Feature signage within

Feature signage to

Feature signage within

Front Boundary Treatment





3D VISUALISATION

- Principle of development
- Scale, design, and appearance
- Impact on residential amenity
- Wildlife, Ecology and Biodiversity
- Access
- Flood Risk

Conclusions

It is concluded that the danger thorough Flood Risk has been mitigated through the design and requirement for an emergency escape plan, and that the benefits of the development by providing residential accommodation on previously developed land in a sustainable location outweigh the identified harms through flood risk and all other harms.

Other benefits of the development are the provision of a cycle and pedestrian path across the development frontage, and contribution to the expansion of GPs surgeries and opportunities for community use of the communal amenity room.

Recommendation

APPROVE subject to conditions and S106

Exeter City Council
Planning Committee
13 November 2023



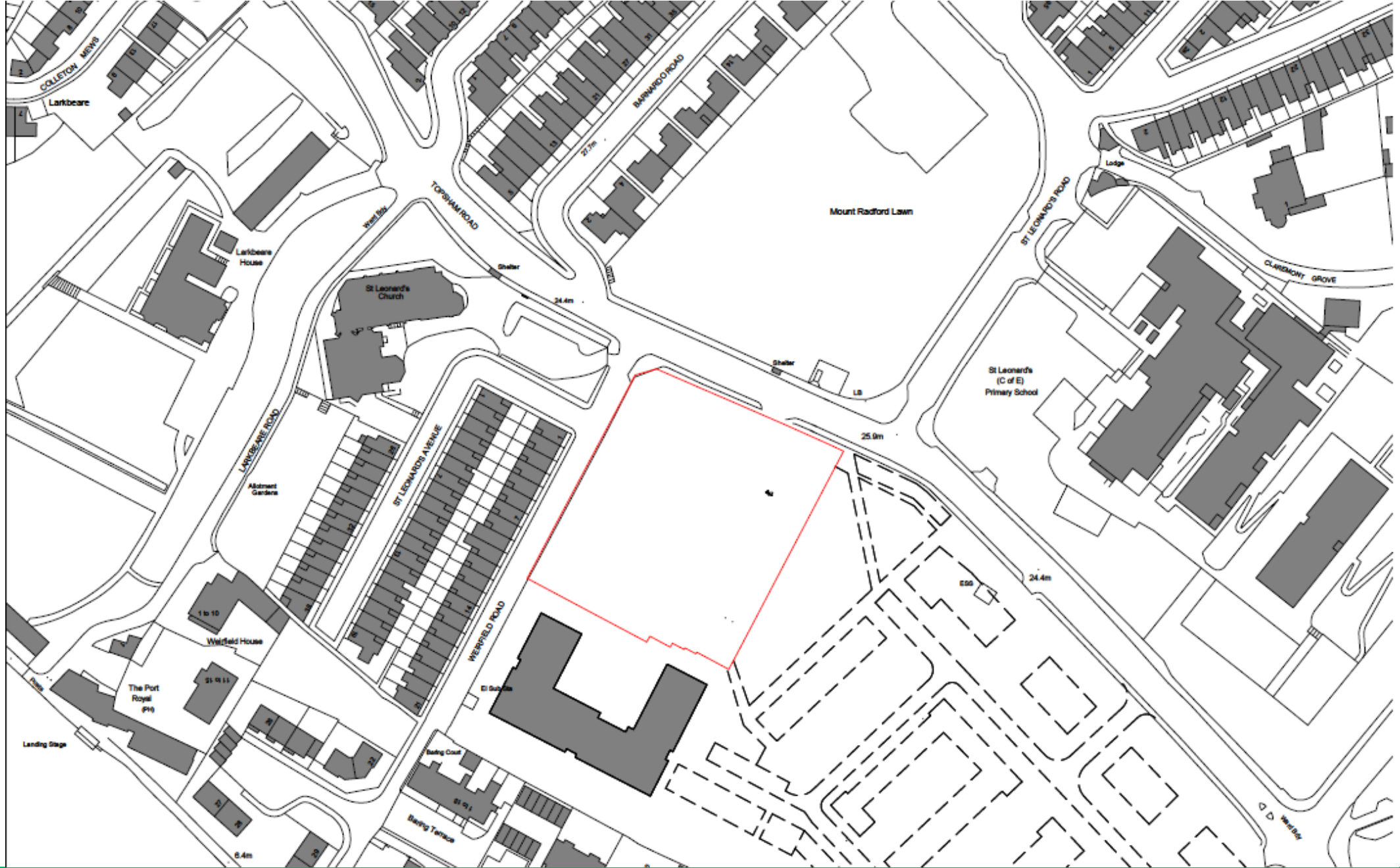
1. Application 23/0880/FUL

Site: Former Exeter Royal Academy For Deaf Education, 50 Topsham Road, Exeter EX2 4NF

Applicant: Gladman Retirement Living Ltd

Proposal: Development of 65no. units of Use Class C2 Residential Accommodation with Care for the elderly along with associated landscaping, access roads, car parking and services

Case Officer: Catherine Miller-Bassi



SITE LOCATION PLAN

- **3-5 storey detached 'U' shaped building**
- **65no. units** of Use Class C2 Residential Accommodation with Care for the elderly
- Associated landscaping, access roads, car parking and services

- Proposed main vehicular **access off Weirfield Road** south-west of site
- Parking area for **33no. cars**: 2no. accessible, 1no. car club use, **4no. for Weirfield Road residents**
- Secondary vehicular access to the north of the site off Topsham Road for dropping off

- Main building access on southern elevation of south-west element
- 2no. additional entrances on the northern elevation
- Some cycle parking

- High number of **objections** from neighbours:
 - 123no. objections including St Leonard's Neighbourhood Association
 - 2no. support
- Objectors' main **concerns**:
 - Overbearing impact, overshadowing to Weirfield Road
 - Out of character – too tall, wrong colour, overdevelopment of site
 - Increased traffic – light/air pollution
 - Access should be on Topsham Road not Weirfield Road – pedestrian safety...

- **However**, site has **extant consent**: 21/1864/FUL
 - 84 retirement apartments
 - Communal facilities, access, car parking and landscaping
 - Current scheme is **virtually identical** to extant consent
- Site also has **extant consent**: 19/1436/VOC
 - This has been partially implemented ie commenced
 - Very similar to current and subsequent schemes
- **NO objections** from any statutory consultees (including Highways)
- Only objection from a non-statutory consultee: Exeter Civic Society

Extant 21/1864/FUL



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Current proposal



Current layout is virtually identical to extant consent

COMPARATIVE SITE LAYOUT

CURRENT (max. height: 12m approx. & max. length: 55.5m approx.)



EXTANT 21/1864/FUL (max. height: 11.4m approx. & max. length: 55.5m approx.)



COMPARATIVE ELEVATIONS – NORTH

CURRENT (max. height 12m approx.
south-east element)



EXTANT 21/1864/FUL (max. height 11.4m approx.
south-east element)



COMPARATIVE ELEVATIONS – SOUTH

CURRENT (max. height 14.9m approx.)



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EXTANT 21/1864/FUL (max. height 14.2m approx.)



COMPARATIVE ELEVATIONS – EAST

CURRENT (max. height 9.1m approx. south-west corner)

Red arrow denotes approx. extent of nos. 1-3 Weirfield Rd opposite



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EXTANT 21/1864/FUL (max. height 8.7m approx. south-west corner)



COMPARATIVE ELEVATIONS – WEST



Extant 19/1436/VOC: south elevation max. height **15.8m**
 South elevation length: approx. **53.5m**



South proposal: south elevation max. height **12m**
 North elevation length: approx. **55.5m**

COMPARISON WITH 19/1436/VOC

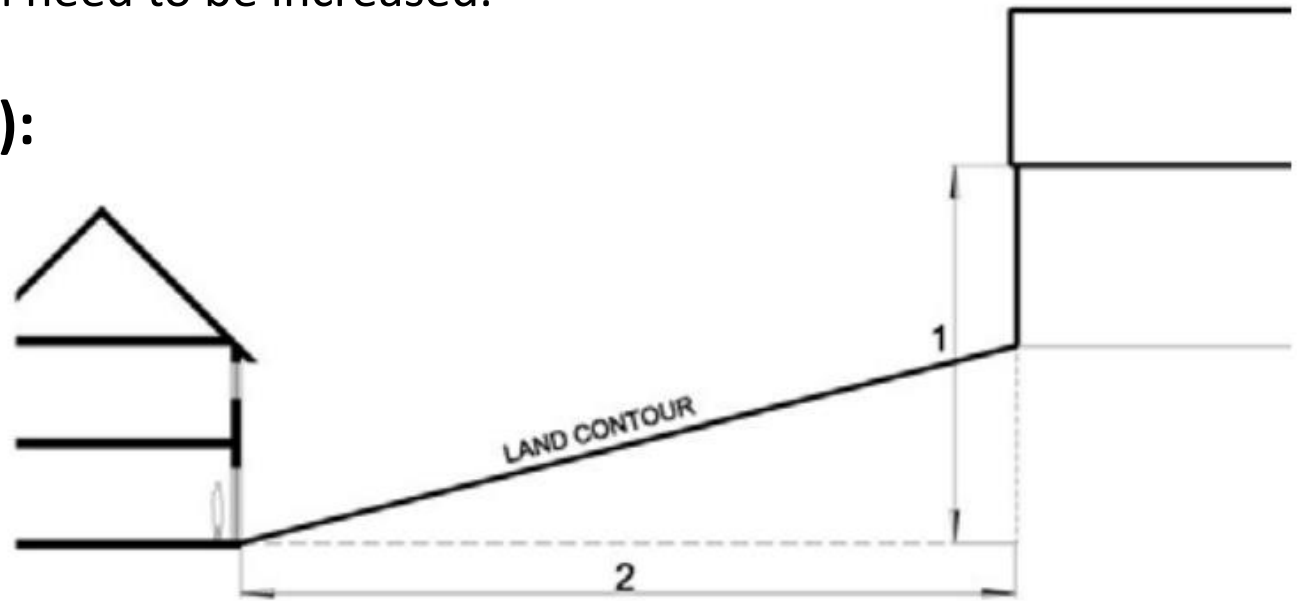
Residential Design Supplementary Planning Document (SPD):

1. Loss of privacy:

- 7.16 A minimum **back to back** distance of 22 metres is required between habitable room windows.
- 7.18 Where buildings of different storey heights back onto one another, or differences in site levels place buildings of the same storey height higher than those they back onto, privacy distances will need to be increased.

2. Overbearing impact (harm to outlook):

- 7.24 See fig.7.6 The distance between habitable room windows and an elevated blank wall must be minimum **2 times of the height of the wall plus the level difference.**



- **Loss of privacy:**
 - Separation gap to nos. 1-3 Weirfield Rd of 17.7m – **front to front**
 - Policy requirement of 22m is **back to back** not front to front
 - **No loss of privacy** given windows in question face public realm
 - **Identical relationship has been approved** under extant consents 21/1864/FUL & 19/1436/VOC
 - 14.2m gap between dwellings fronting on to St Leonard's Ave nearby
 - 12m gap between dwellings fronting on to Cedars Road
 - Therefore, **not** considered reasonable grounds for refusal
- Proposal is **acceptable** re. privacy

- **Overbearing impact (harm to outlook):**

- Nos. 1-3 Weirfield Road would face onto proposed development (south-west corner of building)
- **Ridge height** of approx. **31m AOD** & ground level of approx. **23m AOD** at no.1 Weirfield Road
- **9.1m approx. height** of proposed west elevation opposite no.1 Weirfield Road & ground level of **22m AOD**
 $2 \times 9.1\text{m} = 18.2\text{m} + \text{level difference of } -1\text{m} = \mathbf{17.4\text{m}}$ required for overbearing impact
- **17.7m** approx. actual separation gap

Acceptable re. overbearing impact



NEIGHBOURING AMENITY

- **Highways safety:**
 - Proposed scheme not considered to result in significant trip generation
 - **Identical access and parking arrangement approved** under extant consents 21/1864/FUL & 19/1436/VOC
 - Therefore, **not** considered reasonable grounds for refusal
- Proposal is **acceptable** re. access and parking

- **Benefits**
 - Contribution of 65no. new dwellings to current housing shortfall of 457 homes
 - Effective use of land – high density
 - Use of brownfield site
 - Bringing vacant site back into use
 - Employment opportunities during construction & operation (16-20 FTE) phases
 - Site has **TWO extant consents** 21/1864/FUL & 19/1436/VOC – both extremely similar, former **virtually identical** (material consideration)
 - Developer contributions
- All the above afforded **substantial positive weight cumulatively**

- **Adverse impacts**
 - High number of objections
 - Increased traffic on Weirfield Road, especially during construction phase
- By reason of **similarity with extant consent**, the above is cumulatively afforded **negligible negative weight**

- ECC currently has less than 5YHLS so **Tilted Balance** (NPPF para.11(d)) applies
- The adverse impacts of this proposal **would NOT significantly and demonstrably outweigh the benefits**, when assessed against the policies in this Framework taken as a whole
- Therefore, planning permission should be **GRANTED** subject to conditions and S106 agreement

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