

## PLANNING

Date: Monday 27 April 2026  
Time: 5.30 pm  
Venue: Guildhall, High Street, Exeter

Members are invited to attend the above meeting to consider the items of business.

If you have an enquiry regarding any items on this agenda, please contact Mark Devin, Democratic Services Officer - [democratic.services@exeter.gov.uk](mailto:democratic.services@exeter.gov.uk).

### *Membership -*

Councillors Knott (Chair), Rolstone (Deputy Chair), Asvachin, Atkinson, Banyard, Hughes, Hussain, Ketchin, Mitchell, M, Pole and Williams, M

## PRESENTATIONS

### Part I: Items suggested for discussion with the press and public present

7 **Planning Application No. 25/1042/FUL - School Playing Field, Homefield Road**

To consider the report of the Strategic Director for Place.

(Pages 3 - 38)

8 **Planning Application No. 25/0781/FUL - Mary Arches Street Car Park**

To consider the report of the Strategic Director for Place.

(Pages 39 - 132)

### **Date of Next Meeting**

The next scheduled meeting of the Planning Committee will be held on **Monday 1 June 2026** at 5.30 pm in the Civic Centre.

Find out more about Exeter City Council services by looking at our web site <http://www.exeter.gov.uk>. This will give you the dates of all future Committee meetings and tell you how you can ask a question at a Scrutiny Committee meeting. Alternatively, contact the Democratic Services Officer (Committees) on (01392) 265107 for further information.

**Individual reports on this agenda can be produced in large print on request to Democratic Services (Committees) on 01392 265107.**

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Exeter City Council  
Planning Committee  
27 April 2026



# Application 25/1042/FUL

**Site:** School Playing Field, Homefield Road, Exeter, EX1 2RB

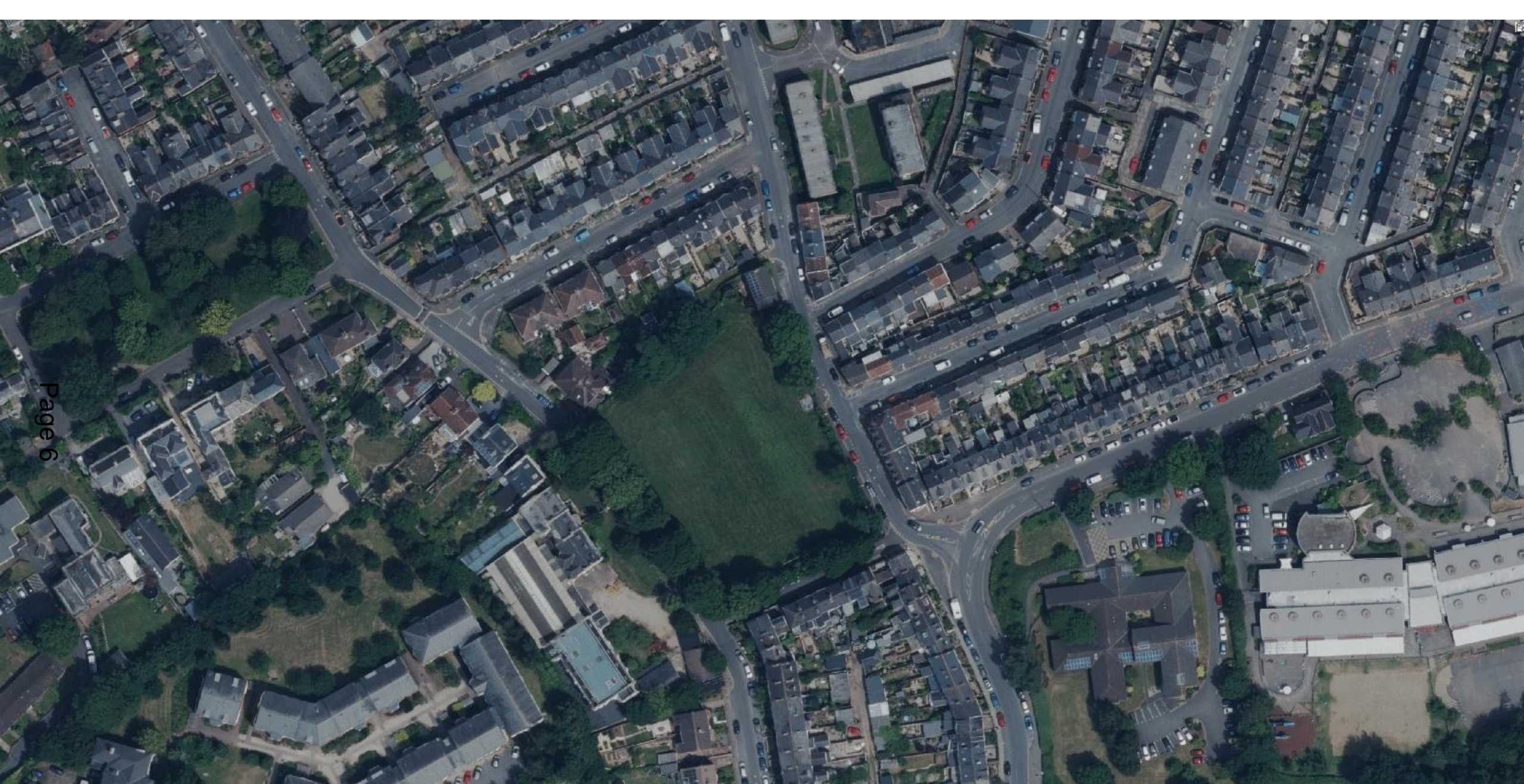
**Applicant:** McCarthy and Stone Retirement Lifestyles Ltd

**Proposal:** Erection of three-storey building for retirement living apartments with associated communal lounge, internal refuse and recycling store, electric buggy/bike store and house managers office. Creation of enlarged vehicular access onto Homefield Road, car parking, electrical sub station, internal paths, landscaped grounds and creation of a permissive path.

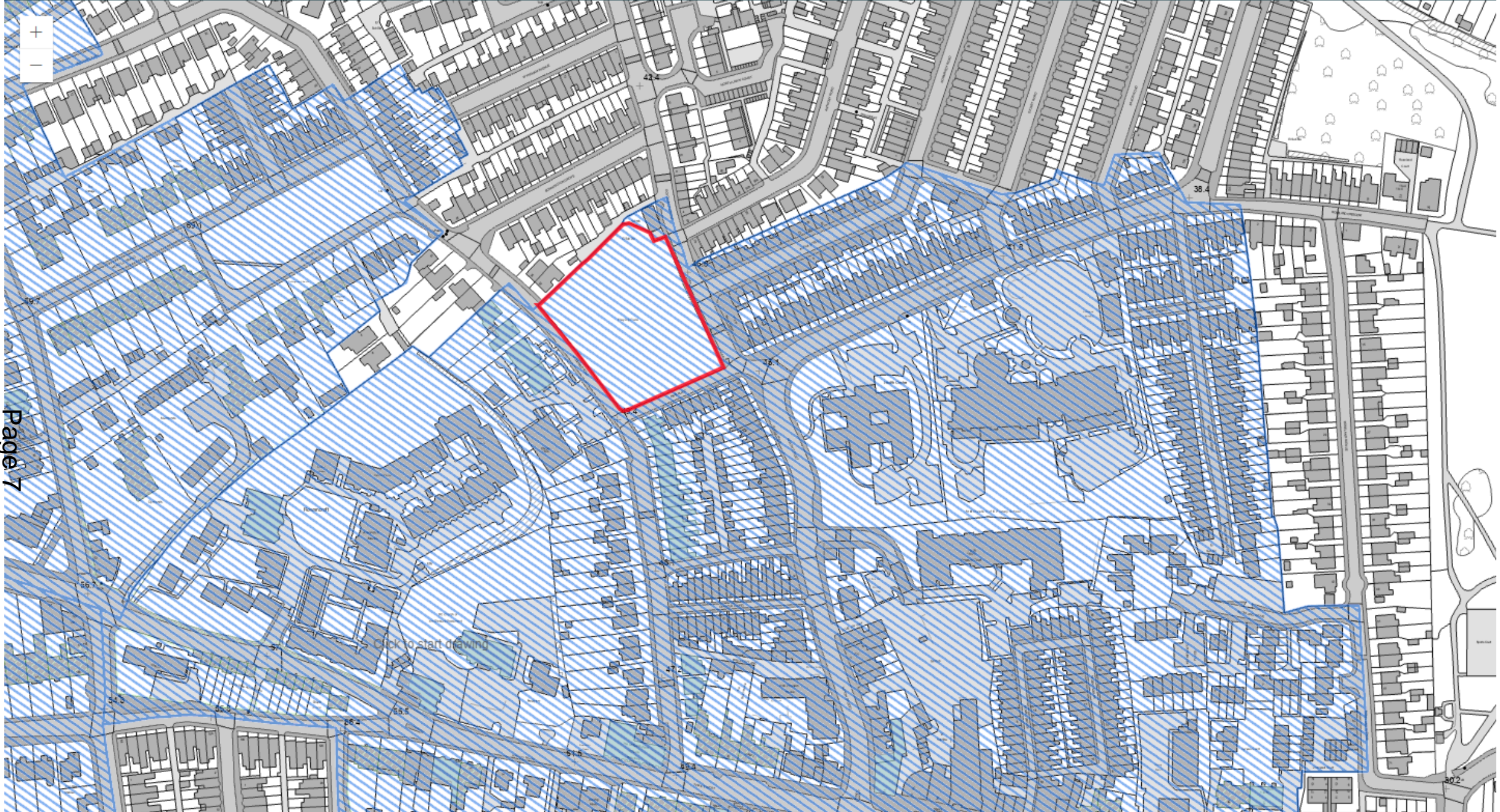
**Case Officer:** Howard Smith



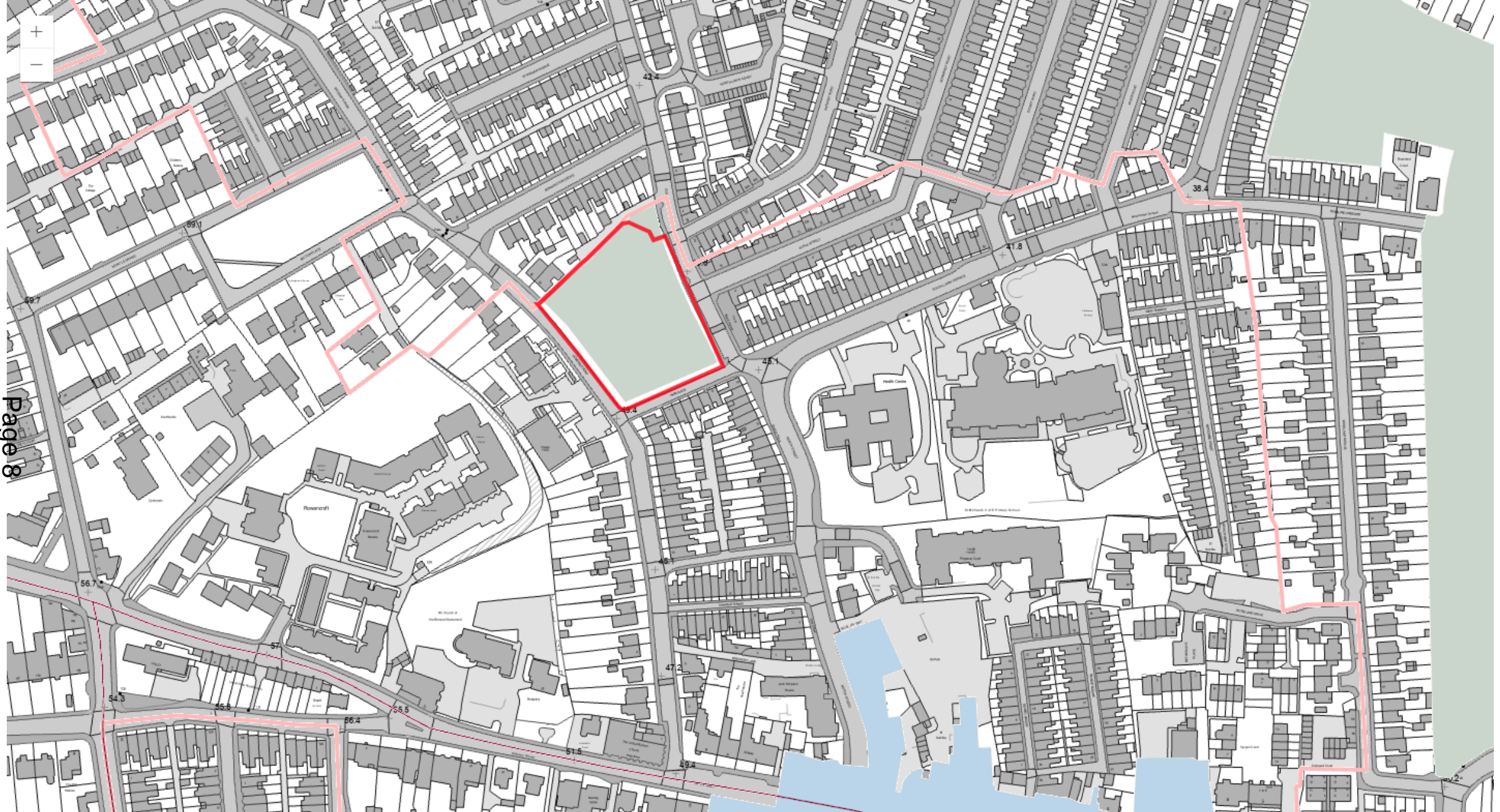
# SITE LOCATION PLAN



# AERIAL VIEW



# HERITAGE MAP



# POLICY MAP





# PHOTOS



# PHOTOS



# PHOTOS















- **Erection of three-storey building for 36 one and two bed age –restricted apartments with associated communal lounge, internal refuse and recycling store, electric buggy/bike store and house managers office.**
- **Creation of enlarged vehicular access onto Homefield Road, 25 car parking spaces, internal paths.**
- **Landscaped grounds and creation of a permissive path.**



- Annotation key:
1. Vehicular access to site
  2. Retain majority of existing mature trees to boundary
  3. Turning head for fire vehicles
  4. Dry Riser Inlet
  5. Old site entrance removed
  6. 3m easement for underground sewers

Comments:

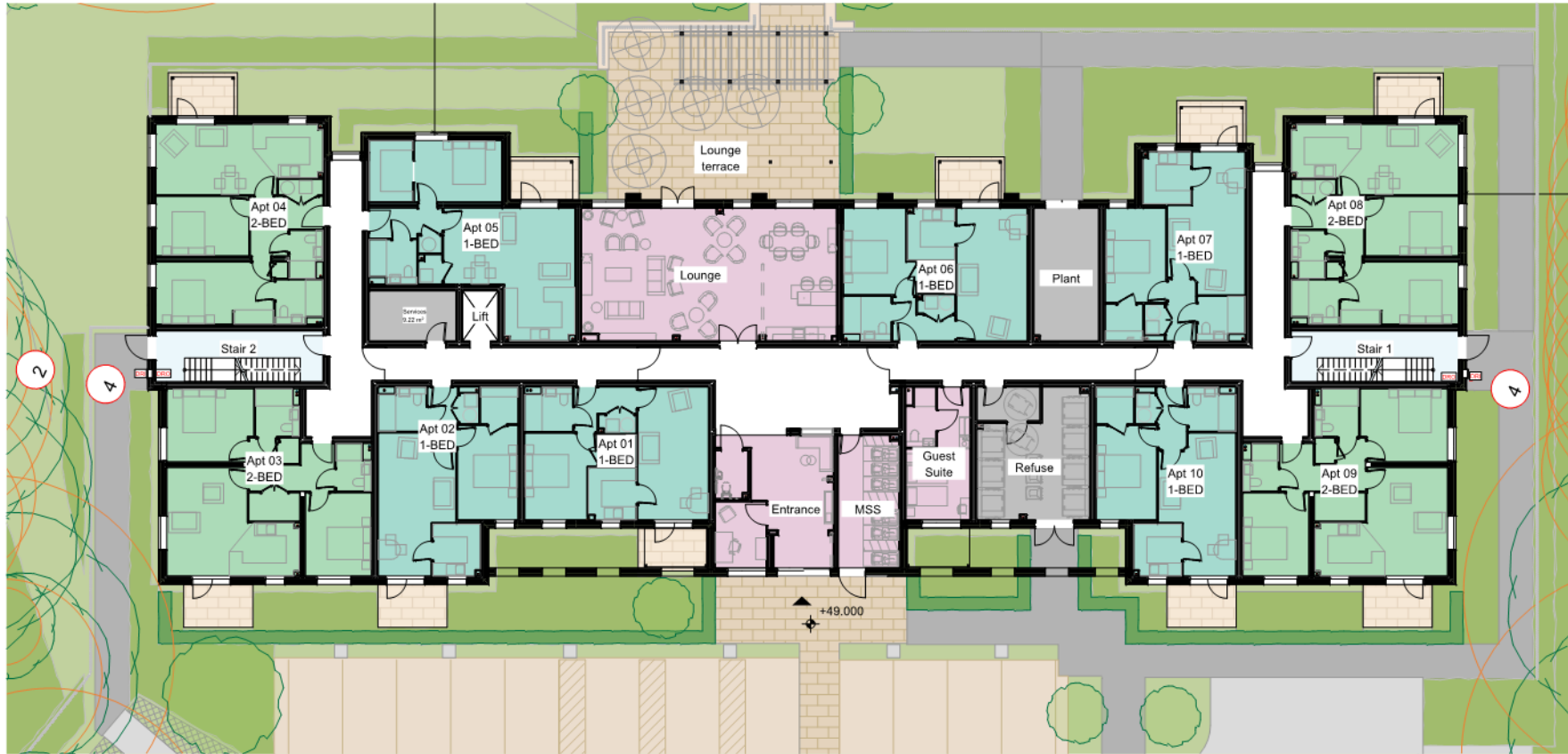
A. For detailed landscape design and levels, refer to Landscape Architect's drawings  
B. Tree protection methods and construction techniques required within RPA's as set by Arboiculturalist

 RPA of principle Cat A/B trees (from tree survey)

RL Block	1B	2B	Total
Floor	6	4	10
1	7	6	13
2	7	6	13
Total A	20 (55%)	16 (45%)	36
Parking			
Total =			25

# PROPOSED SITE PLAN

RL Block	1B	2B	Total
Floor	1B	2B	Total
G	6	4	10
1	7	6	13
2	7	6	13
Total A	20	16	36
	(55%)	(45%)	



# PROPOSED GROUND FLOOR PLAN

RL Block	1B	2B	Total
Floor	1B	2B	Total
G	6	4	10
1	7	6	13
2	7	6	13
Total A	20	16	36
	(55%)	(45%)	

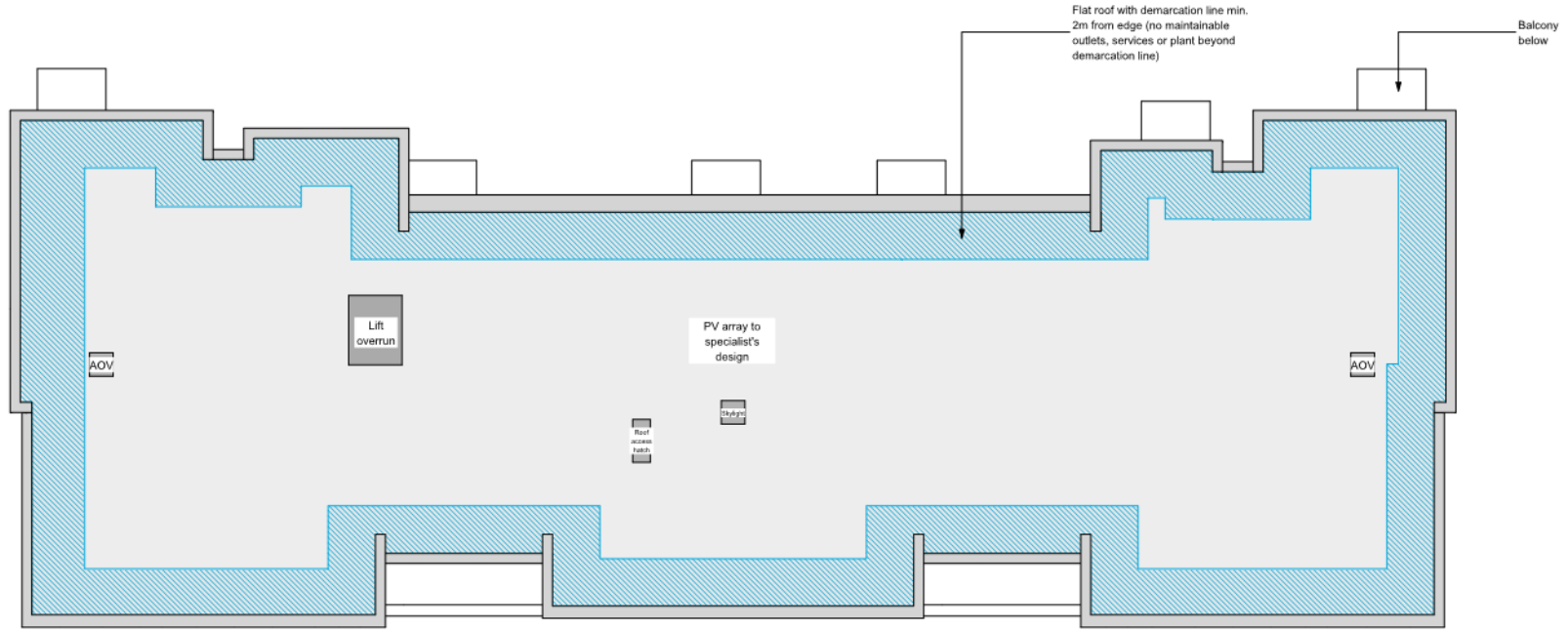


# PROPOSED 1st FLOOR PLAN

RL Block	1B	2B	Total
Floor	1B	2B	Total
G	6	4	10
1	7	6	13
2	7	6	13
Total A	20	16	36
	(55%)	(45%)	



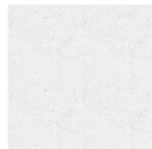
# PROPOSED 2nd FLOOR PLAN



# PROPOSED ROOF PLAN



Materials



White render finish

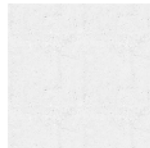


Coloured render (light pastel tone)

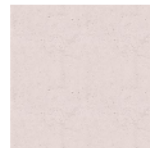
# EAST (FRONT) AND WEST (REAR) ELEVATION



Materials



White render finish



Coloured render (light pastel tone)

# NORTH AND SOUTH ELEVATIONS



Elevation facing Park PI  
1:200



Elevation facing Homefield Rd  
1:200



# SITE SECTIONS



Elevation facing back gardens of northern neighbours  
1:200



Elevation facing Goldsmith St  
1:200



# SITE SECTIONS

0 5 10 m 20 m

North

The procurement and installed plant species are to comply with the schedule in pot size, height and spread. If this is not attainable, please contact the Landscape Architect for further direction.

Any substitutions and deviations of species are to be agreed with the Landscape Architect prior to procurement and delivery of plants to site.

Plants that do not comply with the schedule and have not been previously agreed with the Landscape Architect as an alternative, will be rejected and the contractor will be required to find replacements to meet the original schedule / specification at their cost.



- 1no. Prunus serrulata 20-25cm
- 2no. Sorbus aucuparia 16-18cm
- 1no. Acer campestre 16-18cm
- 2no. Sorbus aria 'majestica' 6-10cm

- 1no. Liquidambar styraciflua 14-16cm
- 1no. Prunus serrulata 16-18cm

- 1no. Prunus serrulata 16-18cm

- 2no. Acer platanoides 'Crimson Sentry' 16-18cm

**Native Hedgerow**

2+2 transplants - 80-100cm high planted in a double staggered row at 450mm ctrs. staked a fitted with shrub guards. Top dress with bark mulch to depth of 50mm. Soil depths to be min. 300mm topsoil with...

Species	Pot Size	Height/Spread	Mix %
Carpinus betulus	SlTr	60-80cm	10
Corylus avellana	SlTr	60-80cm	20
Crataegus monogyna	SlTr	60-80cm	20
Eucynonius europaeus	SlTr	60-80cm	5
Ilex aquifolium	SlTr	60-80cm	10
Prunus spinosa	SlTr	60-80cm	20
Viburnum opulus	SlTr	60-80cm	5

**Rain Garden Planting**

Botanical Name    Height cm    Root Type    Container    Habit /    Density m<sup>2</sup>    Comments

**Tree Schedule**

Selected standard trees, double staked with timber posts and adjustable rubber tie. Trees in soft landscape top dress rootball (1.0m diameter) with bark mulch 50mm depth over 300mm topsoil and 600mm subsoil as per tree pit detail with soft landscape areas. Refer to hard landscape tree pit detail for those trees placed within hard surfaces finishes. NB. All trees to be container grown stock.

Tree Specie	Girth	Clear Stem (C/S)	Feathered (F)	Total No.
Acer campestre	16-18cm	1.8m C/S	1	1
Acer campestre 'Elixir'	16-18cm	1.8m C/S	1	1
Acer platanoides 'Crimson Sentry'	16-18cm	1.8m C/S	2	2
Betula pendula	16-18cm	1.8m C/S	1	1
Betula pendula 'Purpurea'	20-25cm	2.0m C/S	1	1
Carpinus betulus 'Frans Fontaine'	20-25cm	2.0m C/S	3	3
Fagus sylvatica	16-18cm	1.8m C/S	1	1
Liquidambar styraciflua	14-16cm	2.0m C/S	1	1
Malus 'evereste'	multi-stem	1.8m C/S	9	9
Prunus serrulata	<varies>	<varies>	5	5
Sorbus aria 'majestica'	8-10cm	1.8m C/S	2	2
Sorbus aucuparia	16-18cm	1.8m C/S	2	2
Total:				29

**Typical Native Shrub / Woodland Mix**

To be planted at 2.0m ctrs, staked & fitted with shrub guards. Top dress with bark mulch to depth of 50mm. Soil depths to be min. 300mm topsoil with 300mm subsoil (to BS 3882:2015)

Species	Pot Size	Height/Spread	Mix %	Total No.
Acer campestre	1+2 transplant	60-90cm	10	66
Betula pendula	1+2 transplant	60-90cm	10	66
Cornus sanguinea	1+2 transplant	60-90cm	10	66
Corylus avellana	1+2 transplant	60-90cm	15	96
Crataegus monogyna	1+2 transplant	60-90cm	10	66
Fagus sylvatica	1+2 transplant	60-90cm	15	96
Ilex aquifolium	1+2 transplant	60-90cm	10	66
Prunus spinosa	1+2 transplant	60-90cm	5	32
Sorbus aucuparia	1+2 transplant	60-90cm	5	32
Viburnum opulus	1+2 transplant	60-90cm	10	66

**Ornamental Shrub Planting**

Type	Pot Size	Height / Spread	Habit	Min. breaks in lower 1/3rd
Acanthus mollis	3	30-40cm	Full pot fully rooted, healthy crown	-
Agapanthus orientalis	5	40-60cm	Upright	-
Ajuga reptans	3	20-30cm	Full pot fully rooted, healthy crown	-
Alchemilla mollis	2	15-30cm	Bushy	-
Allium 'Purple Sensation'	2	15-30cm	Full pot fully rooted, healthy crown	-
Anemonehebe lessoniana	3	15-30cm	Full pot fully rooted, healthy clump	-
Asiatic chinese 'Purple Candles'	3	30-40cm	Bushy	-
Bergenia 'Silberlicht'	3	30-40cm	Bushy	-
Camellia japonica (15 Ltr)	15	60-90cm	Full pot fully rooted, healthy crown	-
Choiya 'Atec Pearl'	3	30-40cm	Bushy	-
Clematis armandi 'Snowdrift' (SL)	5	80-90cm	Leader & laterals	5
Clematis montana var. grandiflora (SL)	5	80-90cm	Leader & laterals	5
Cordylone australis 'Red Star' (15L)	15	60-90cm	Full pot fully rooted, healthy clump	-
Daphne odora (15 Ltr)	15	60-90cm	Bushy	5
Dryopteris affinis (5 Ltr)	5	40-60cm	Full pot fully rooted, healthy clump	-
Epimedium x rubrum	3	30-40cm	Bushy	-
Euphorbia characias 'Humpy Dumpty'	3	30-40cm	Bushy	-
Fatsia japonica (10 Ltr)	10	60-90cm	Branched	5
Geranium 'Rozanne'	3	30-40cm	Bushy	-
Hamamelis mollis (15 Ltr)	15	60-90cm	Bushy	3
Hebe 'Autumn Glory'	3	30-40cm	Bushy	4
Hebe pascual	3	30-40cm	Bushy	4
Hebe pinguifolia 'Page'	2	15-30cm	Full pot fully rooted, healthy crown	-
Hebebeboris orientalis	3	20-30cm	Full pot fully rooted, 2 healthy crown	-
Jasminum polyanthum (SL)	5	80-90cm	Leader & laterals	5
Lavandula angustifolia 'Hidcote'	3	30-40cm	Bushy	3
Liriope muscari	3	30-40cm	Bushy	-
Lonicera henryi 'Copper Beauty' (SL)	5	80-90cm	Leader & laterals	5
Magnolia stellata (15L)	15	60-90cm	Full pot fully rooted, healthy clump	-
Mahonia japonica (SL)	5	60-90cm	Upright	-
Nassella tenuissima	3	15-30cm	Full pot fully rooted, healthy crown	-
Neptea racemosa 'Walker's Low'	3	15-30cm	Full pot fully rooted, healthy crown	-
Osteospermum 'Lady Letrim'	3	15-30cm	Full pot fully rooted, healthy crown	-
Pachyandra terminalis	3	15-30cm	Ground cover	-
Pennisetum villosum	3	30-40cm	Upright	-
Pericaria affinis 'Darjeeling Red'	3	20-30cm	Ground cover	-
Pittosporum tobira 'Nanum'	3	15-30cm	Upright	-
Rodgersia pinnata 'Superba' (5 Ltr)	5	40-60cm	Bushy	-
Rosa 'Kent' (SL)	5	40-60cm	Bushy	3
Salvia nemorosa 'Caradonna'	2	30-40cm	Full pot fully rooted, healthy clump	-
Sarcococca hookeriana var. digyna 'Purple Stem'	5	40-60cm	Full pot fully rooted, healthy clump	-
Sedum 'Autumn Joy'	3	30-40cm	Full pot fully rooted, healthy clump	-
Verberna bonariensis	3	30-40cm	Full pot fully rooted, healthy clump	-
Verberna bonariensis 'Lollipop'	3	30-40cm	Full pot fully rooted, healthy clump	-
Veronica spicata	3	30-40cm	Full pot fully rooted, healthy clump	-
Viburnum divaricatum (5 Ltr)	5	30-40cm	Bushy	-
Viburnum x burkwoodii (10L)	10	60-90cm	Bushy	5
Waldsteinia ternata	3	30-40cm	Full pot fully rooted, healthy clump	-
Wisteria sinensis (SL)	5	80-90cm	Leader & laterals	5

Responsibility is not accepted for errors made by others in issuing from this drawing. All construction information should be taken from signed dimensions only.



- Legend**
- Existing Trees Retained and Protected To BS 5837:2012 - Refer to Tree Retention and Removal Plan, dwg no. SD-3044-03-LA-DR-902.
  - Proposed Tree 14-18 grth mm. 1.8m clear stem double staked, fitted with aeration / irrigation ring to rootball. Refer to Tree Schedule and Soft Landscape Detail Plan for Tree Pit detail, dwg no. SD-3044-03-LA-DR-940.
  - Existing Planting retained
  - Proposed Native Hedgerow Maintain to 1.2m high. Planted in prepared 300mm topsoil over 300mm sub-soil with 50mm bark mulch. Refer to Native Hedgerow Schedule for details.
  - Proposed Ornamental Hedge Maintain to 1.2m high. Planted in prepared 300mm topsoil over 300mm sub-soil with 50mm bark mulch. Refer to Ornamental Hedge Schedule for details.
  - Proposed Native Shrub / Woodland Mix 1+2 stock, planted in prepared 300mm topsoil over 300mm sub-soil with 50mm bark mulch. Refer to Native Shrub / Woodland Mix Schedule for details.
  - Proposed Ornamental Shrub and Groundcover Planting 3-5L stock, planted in prepared 300mm topsoil over 300mm sub-soil with 50mm bark mulch. Refer to Ornamental Shrub Planting Schedule for details.
  - Proposed Amenity Turf Laid over 300mm topsoil (cultivated) over 150mm sub-soil. Refer to Grass and Meadow Schedule for details.
  - Proposed Meadow Species Rich Lawn Turf Laid over 300mm topsoil (cultivated) over 150mm sub-soil. Refer to Grass and Meadow Schedule for details.
  - Proposed Rain Garden planting Laid over Bio-retention soil

**Note:**

- Main contractor to determine exact location if services/drainage, this should be confirmed on site prior to commencement of works to avoid tree pit / services conflicts.
- All soil is subject to detailed testing and analysis and will be in accordance with the soft landscape specifications.
- All treatment of softwork areas to comply to BS4248 Code of Practice for general landscape operations.
- All native shrub & hedge species plant type supplied for designated areas & to be determined by the proposed planting season, (ie barefoot or container grown stock).

REV	DATE	DESCRIPTION	BY	CHK
E	24.10.2025	PLANNING ISSUE	EV	US
D	21.10.2025	PLANNING ISSUE	EV	US
C	17.07.2025	PLANNING ISSUE	CCM	DMK
B	18.07.2025	PLANNING ISSUE	CCM	US
A	18.06.2025	PRAK FILE ISSUE	CCM	US

**STRIDE TREGLOWN**

CLIENT NAME	ORIGINATOR NO
McCarthy Stone Ltd	156916

**PROJECT**

MCS Heavitree  
Heavitree, Exeter

**DRAWING TITLE**

Planting Strategy Plan

SUITABILITY STATUS	SCALE
PLANNING	1 : 200 @ A1

**MCCARTHY STONE**

**PROPOSED LANDSCAPE PLAN**



Responsibility is not accepted for errors made by others in using from this drawing  
 All construction information should be taken from signed dimensions only

0mm 50mm 100mm

Legend

- Residents area
- Permissive Path Route

B	17.10.2020	PLANNING ISSUE	EY	US
A	14.10.2020	Issue for Information	EY	US

**STRIDE TREGLOWN**

CLIENT NAME	ORIGINATOR NO
McCarthy Stone Ltd	156916

PROJECT  
 MCS Heavitree  
 Heavitree, Exeter

DRAWING TITLE  
 Landscape Plan Permissive Path Route

SUITABILITY STATUS	SCALE
PLANNING	1 : 200 @ A1

**McCARTHY STONE**

# PROPOSED PERMISSIVE ACCESS PLAN



**ILLUSTRATIVE IMAGE – FAÇADE FACING GOLDSMITH STREET**



**ILLUSTRATIVE IMAGE – FAÇADE FACING HOMEFIELD ROAD**

The key planning issues are:

1. Principle of development
2. Impact on heritage assets
3. Scale, design, layout and appearance
4. Impact on Trees, ecology and biodiversity
5. Sustainable Construction and Energy Conservation
6. Provision of older peoples housing
7. Travel, Access and Parking
8. Flood Risk and Surface Water Management
9. Pollution
10. Housing supply
11. Affordable Housing
12. Mixed Communities
13. Economic benefits
14. Community Infrastructure Levy (CIL) and New Homes Bonus
15. Planning Obligations

It is considered that the development would result in the erosion of the site's open character which is a positive element of the Heavitree Conservation Area. Having had special regard to the desirability of preserving the Conservation Area and great weight to its conservation, and for the reasons set out in the assessment in this report (including the Planning Balance in Section 16), it is concluded that the proposal would result in less than substantial harm to the Conservation Area and the setting of nearby heritage assets.

In this case Officers have concluded that harm is outweighed by the public benefits of the scheme, in particular the delivery of 36 age-restricted dwellings in a highly sustainable location to help meet identified housing need, together with the mitigation and planning obligations including access and off-site affordable housing secured through conditions and the section 106 agreement.

The current housing land supply position, being less than 5 years is considered to reinforce the balance in favour of approval.

The application is therefore recommended for approval, subject to completion of the section 106 agreement and the conditions set out below.

## CONCLUSION

The recommendation is in two parts. APPROVE subject to conditions and to a S106 Legal Agreement being completed and REFUSE if the agreement is not completed in a timely manner.

### RECOMMENDATION PART ONE

DELEGATE TO THE SERVICE LEAD (CITY DEVELOPMENT) TO GRANT PERMISSION SUBJECT TO THE COMPLETION OF A LEGAL AGREEMENT UNDER SECTION 106 OF THE TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TO SECURE THE FOLLOWING:

- Sport pitches contribution of £95,000 prior to occupation
- NHS Devon GP Surgeries contribution of £14,518 on commencement
- Habitats Mitigation of £1284.71 per unit (£46,249.56 total) on commencement
- Off-site affordable housing contribution circa £1.07m prior to occupation.
- Management of the permissive route through the site.
- Travel Plan measures

**OFFICER RECOMMENDATION**

RECOMMENDATION PART TWO

REFUSE PERMISSION FOR THE REASONS SET OUT BELOW IF THE LEGAL AGREEMENT UNDER SECTION 106 OF THE TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) IS NOT COMPLETED BY (6 months from the date of committee) OR SUCH EXTENDED TIME AS AGREED IN WRITING BY THE SERVICE LEAD (CITY DEVELOPMENT)

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Exeter City Council  
Planning Committee  
27 April 2026



# **Application 25/0781/FUL**

**Site: Mary Arches Street Car Park**

**Applicant: Eutopia Exeter Arches Ltd**

**Proposal: Demolition of multi-storey car park and construction of a co-living development alongside public realm improvements, landscaping, cycle and car parking, servicing, refuse and recycling provision, and associated works**

**Case Officer: Howard Smith**

## Planning Committee 19 January 2026

RESOLVED that the Committee DEFER determination of the application, on the grounds that further discussions were required between officers and the applicant to address:

- the scale and massing of the proposed development;
- the design quality and treatment of the street-facing elevations; and
- that these matters be explored and reported back to a subsequent meeting of the Planning Committee.

## Actions since 19 January Committee

- 3 February - Post committee review with applicant
- 18 February - Design Review Panel
- 25 February – Design meeting
- 5 March Revised Plans submission
- 13 March – 8 April Re-consultation
- 16 and 23 April Revised Plans submissions

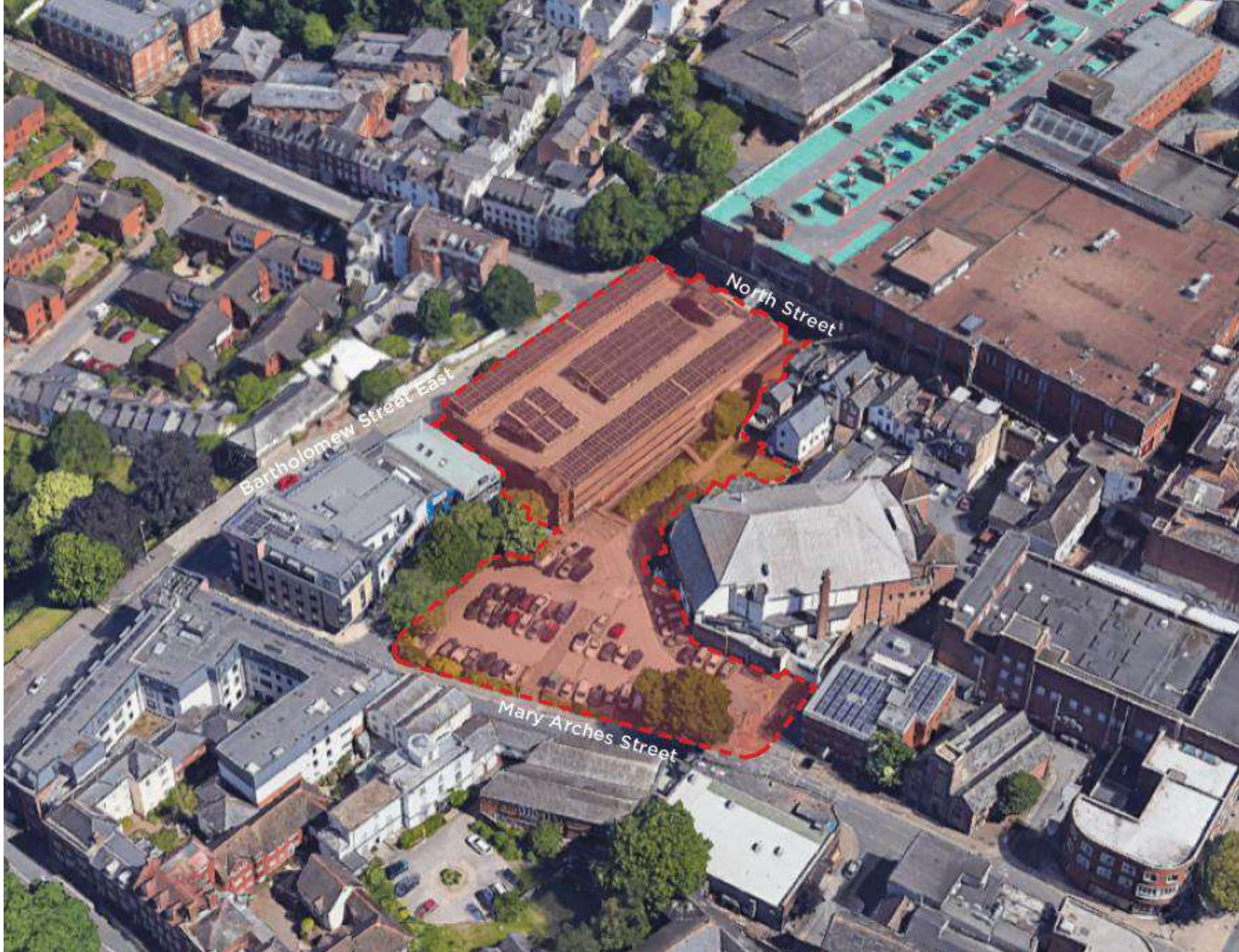
## Principal Design Amendments since 19 January 2026

- Block B reduced by 1 storey to 4 storeys.
- Roof terrace of block B omitted.
- Architectural approach of Block B revised.
- East and West ends of block B stepped forward to street.
- Stepped entrance created on North St. Bartholomew Street.
- Internal reconfiguration to retain residential unit numbers.

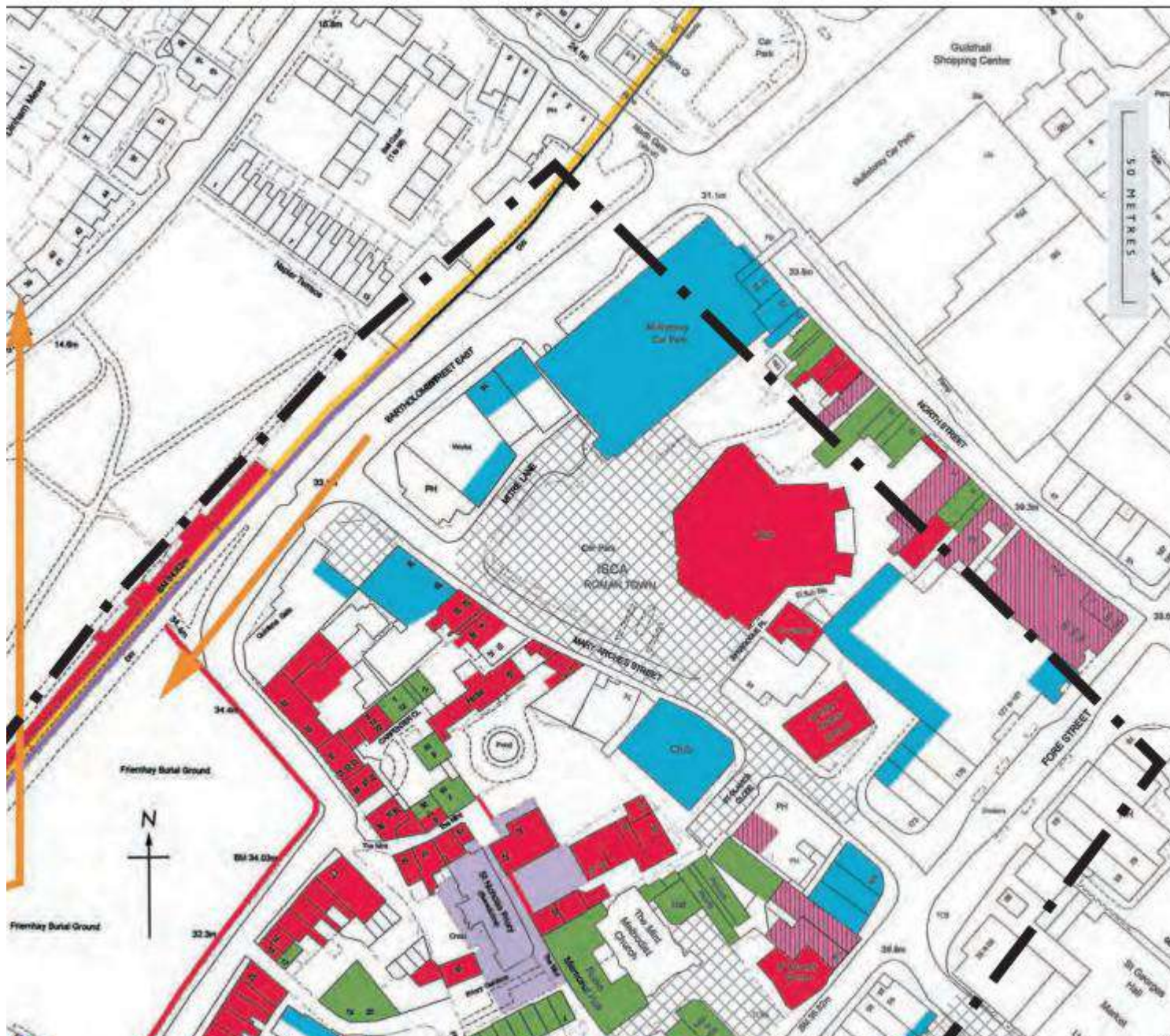





# AERIAL VIEW



# AERIAL VIEW



CENTRAL  
CONSERVATION AREA



AREA 5

FORE STREET  
& FRIERNHAY

TOWNSCAPE  
ANALYSIS

- CA Boundary
- Scheduled Ancient Monuments
- Listed Buildings
- Locally listed buildings
- Buildings – Positive contribution
- Buildings – Negative contribution
- Buildings – Neutral contribution
- Negative spaces
- Significant views

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# Listed, Locally Listed Buildings & SAM











# PHOTOS



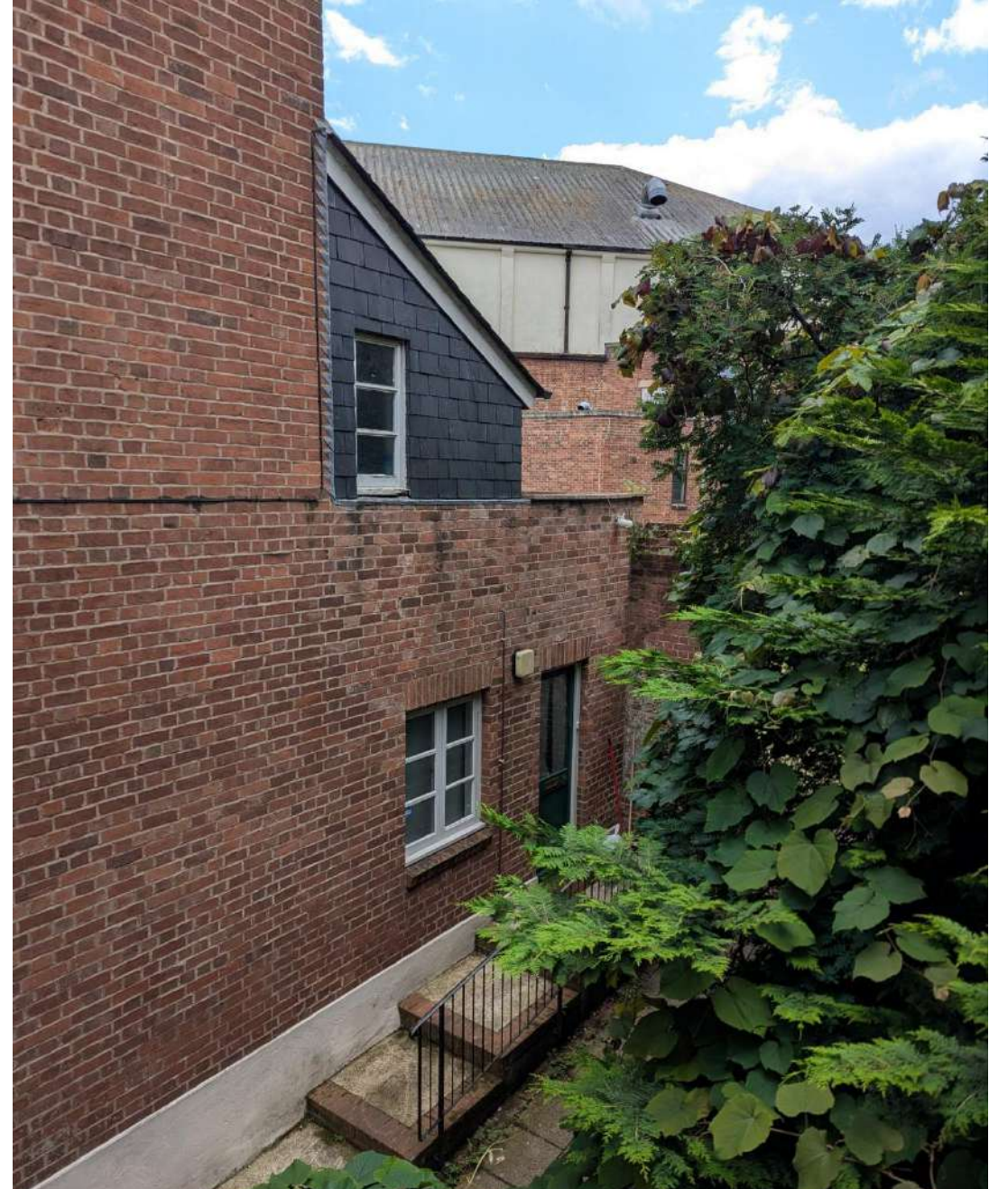














PHOTOS













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# PHOTOS



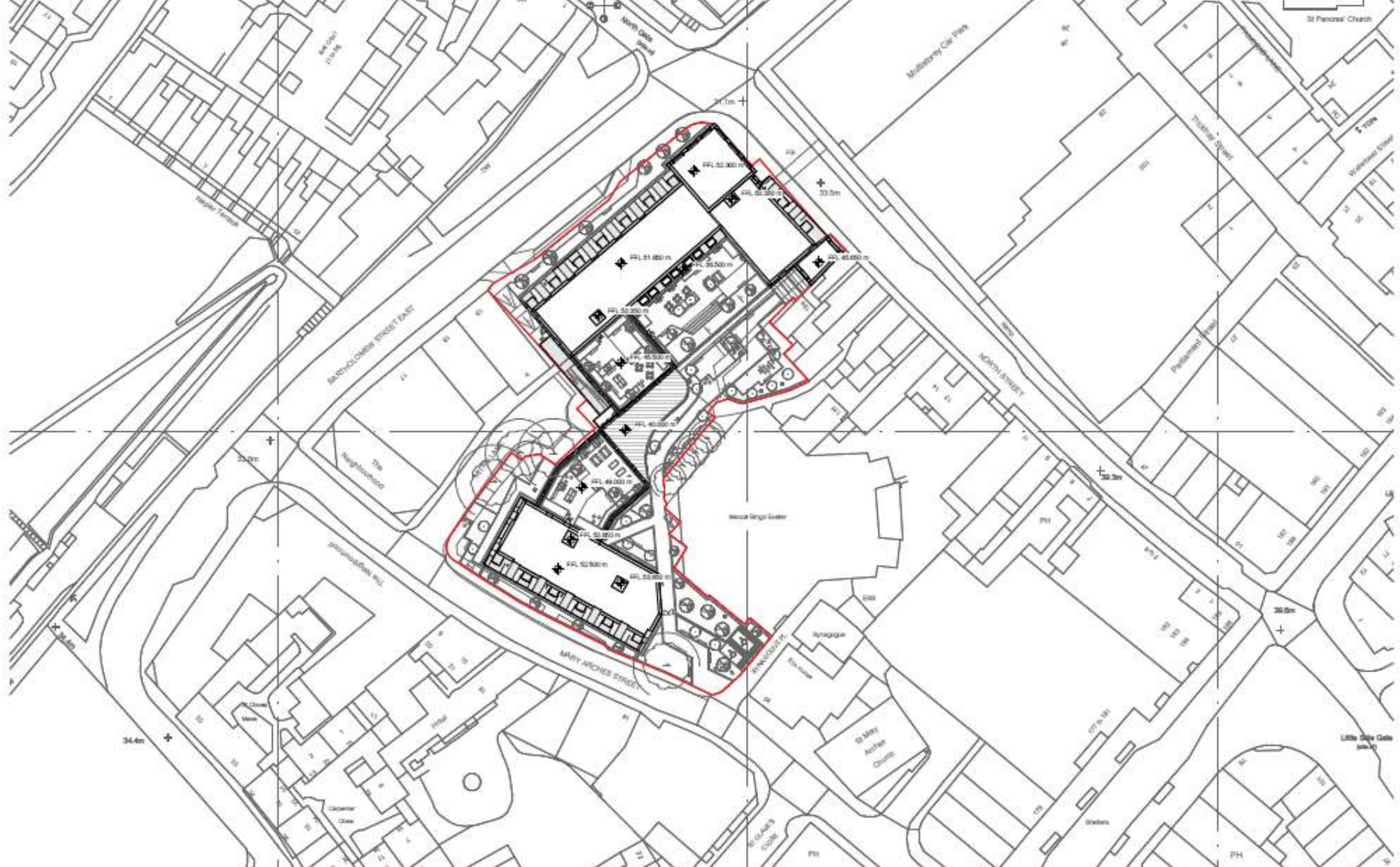


# PHOTOS

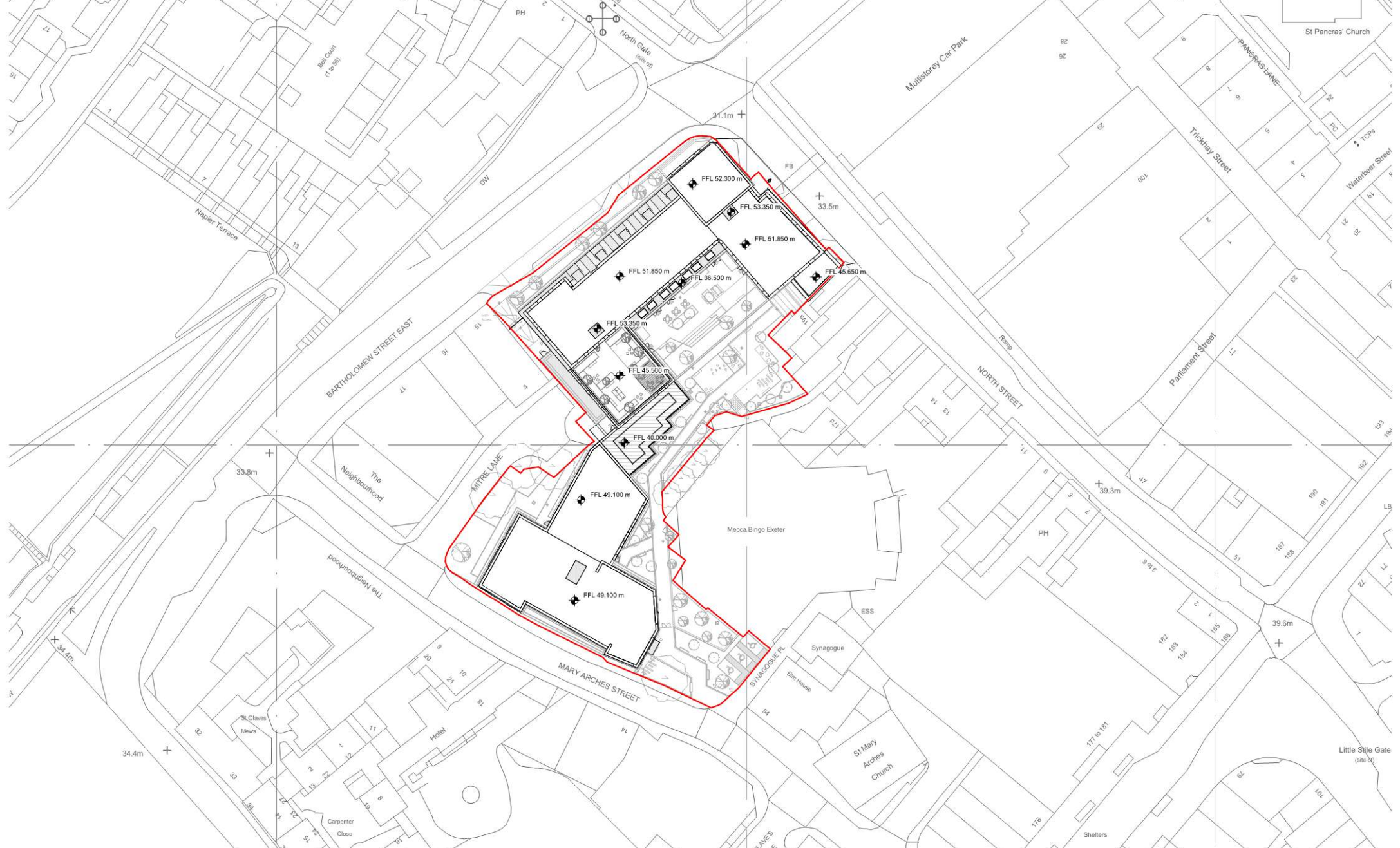




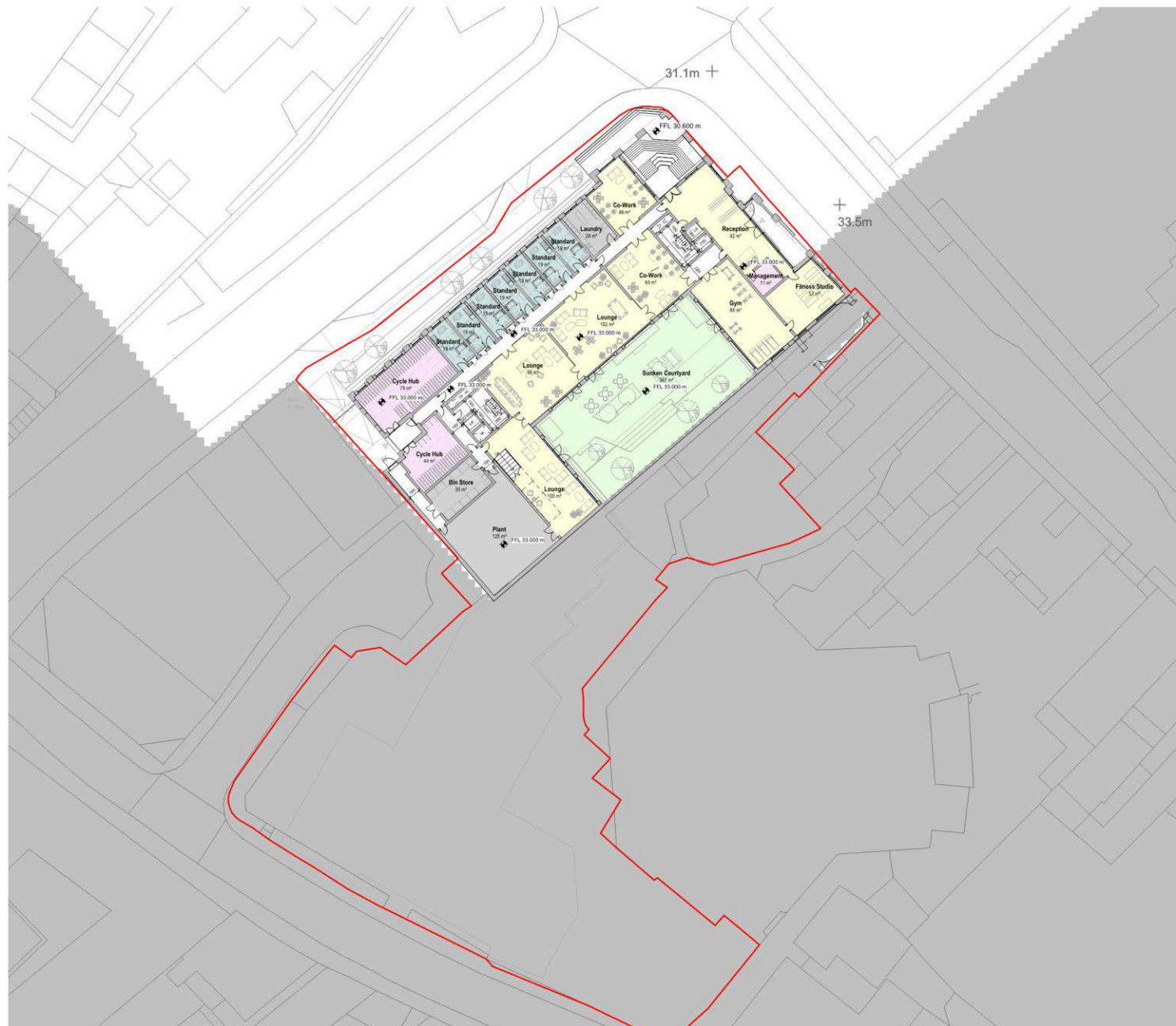
- Demolition of a six-deck multi-storey car park, with solar panel canopies on the upper open deck, and redevelopment of surface car park.
- Construction of Co-Living development in two blocks linked internally at ground level.
- Provision of 297 Co-Living Residential Units
- Provision of communal accommodation for both blocks including lounges, gym and studio, co-working, laundry, bin stores and cycle parking.
- Provision of A sunken courtyard garden, and rooftop (4<sup>th</sup> Floor) terrace on block A provide open amenity.



**PREVIOUS SITE PLAN**



# PROPOSED SITE PLAN



**GENERAL NOTES**

The drawing is copyright of Darling Associates. This drawing shall not be scaled. All dimensions are in millimetres unless otherwise stated. All dimensions shall be checked on site prior to commencing the works and any discrepancies to be reported to Darling Associates. All works shall conform to the current edition of the building regulations and other statutory requirements. All materials and workmanship shall conform with the relevant British Standard specifications and codes of practice. If the drawing forms part of an application for planning permission, it shall not be used for any other purpose without the express permission of Darling Associates. This drawing may incorporate information from other professionals. Darling Associates cannot accept responsibility for the integrity and accuracy of such information. Any clarification and/or additions that are required depending to such information should be sought from the relevant professional on their appointment representation.

Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements documents, Agreements in Lieu, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall Boundary Awards. Other specialist design consultant's requirements as appointed by the Main Contractor. Other specialist design consultant's requirements as appointed by the Main Contractor. Other specialist design consultant's requirements as appointed by the Main Contractor.

P. A. Peckham C. C. Contractor



- NOTES**
- Key**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
- Planning Application Site Boundary

REV	NOTES	DATE	BY	AUTH
P1	Planning Ref Issue	29/04/20	CT	TP
P6	Planning Ref Issue	10/04/20	CT	TP
P3	Planning Ref Issue	06/02/20	CT	TP
P4	Planning Ref Issue	06/11/20	RP	TP
P5	Planning Ref Issue	21/11/20	CEM	TP
P2	Planning Ref Issue	19/08/20	RP	TP
P1	Planning Ref Issue	30/05/20	CEM	TP

**DARLING ASSOCIATES ARCHITECTS**

1 Green Coast Row  
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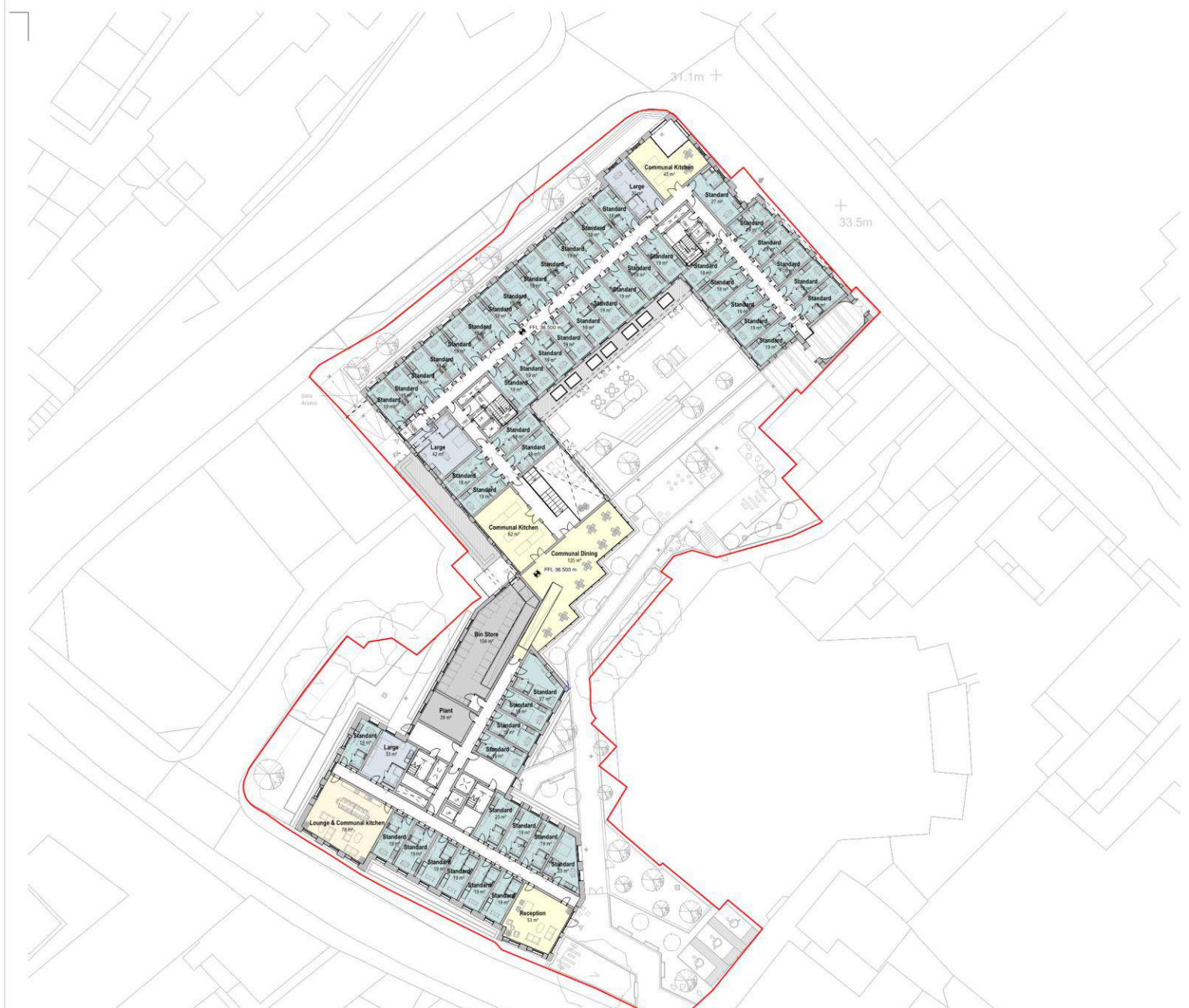
**DRAWING STATUS**

**Planning**

TITLE  
03-Proposed  
Proposed Ground Floor Plan

PROJECT  
Mary Arches, Exeter

# PROPOSED SITE PLAN – GROUND FLOOR



**GENERAL NOTES**

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- NOTES**
- Key**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
- Planning Application Site Boundary

P7	Planning Ref Issue	29/04/20	CT	TP
P6	Planning Ref Issue	19/04/20	CT	TP
P5	Planning Ref Issue	06/02/20	CT	TP
P4	Planning Ref Issue	08/11/20	RP	TP
P3	Planning Ref Issue	21/11/19	CEM	TP
P2	Planning Ref Issue	19/09/19	RP	TP
P1	Planning Ref Issue	30/05/19	CEM	TP

REV	NOTES	DATE	BY	AUTH
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**DRAWING STATUS**

**Planning**

TITLE  
03-Proposed  
Proposed First Floor Plan

PROJECT  
Mary Arches, Exeter

# PROPOSED SITE PLAN – 1<sup>st</sup> FLOOR



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P. J. Peckham C. C. Contractor



- NOTES**
- Key**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
- Planning Application Site Boundary

P7	Planning Ref Issue	28/04/20	CT	TP
P6	Planning Ref Issue	10/04/20	CT	TP
P5	Planning Ref Issue	06/02/20	CT	TP
P4	Planning Ref Issue	08/11/19	RP	TP
P3	Planning Ref Issue	21/11/19	CEM	TP
P2	Planning Ref Issue	19/09/19	RP	TP
P1	Planning Issue	30/05/19	CEM	TP

REV	NOTES	DATE	BY	AUTH
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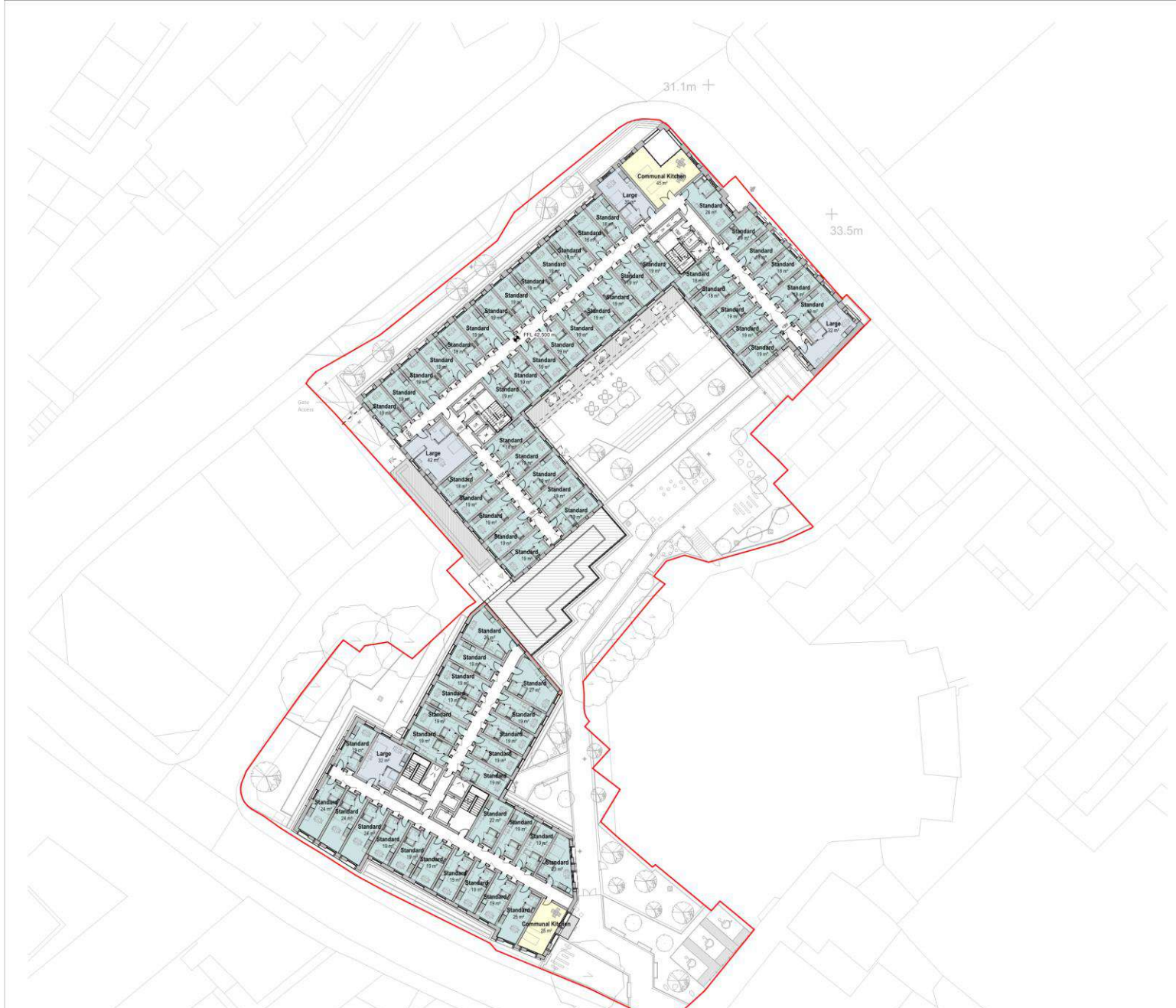
**DRAWING STATUS**

**Planning**

TITLE  
 03-Proposed  
 Proposed Second Floor Plan

PROJECT  
 Mary Arches, Exeter

# PROPOSED SITE PLAN – 2<sup>nd</sup> FLOOR



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- NOTES**
- Key**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
- Planning Application Site Boundary

P7	Planning Ref Issue	29/04/20	CT	TP
P6	Planning Ref Issue	10/04/20	CT	TP
P5	Planning Ref Issue	06/02/20	CT	TP
P4	Planning Ref Issue	06/11/20	RP	TP
P3	Planning Ref Issue	21/11/19	CEM	TP
P2	Planning Ref Issue	19/03/19	RP	TP
P1	Planning Issue	30/05/19	CEM	TP

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 Website: [www.darlingassociates.net](http://www.darlingassociates.net)  
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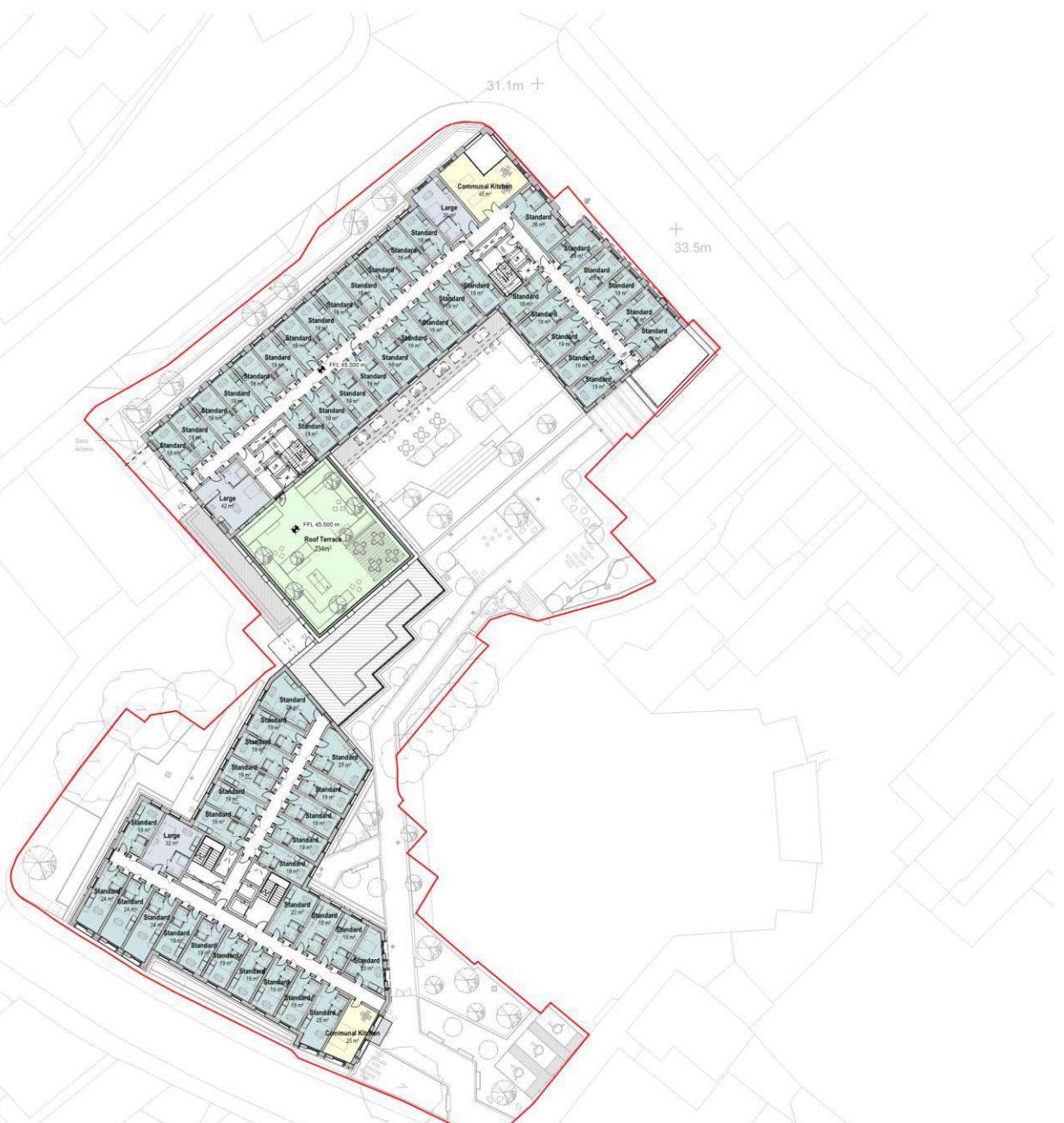
**DRAWING STATUS**

**Planning**

**TITLE**  
 03-Proposed  
 Proposed Third Floor Plan

**PROJECT**  
 Mary Arches, Exeter

# PROPOSED SITE PLAN – 3<sup>rd</sup> FLOOR



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 P. A. Peckham, C. C. Contractor



- NOTES**
- Key**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
- Planning Application Site Boundary

P7	Planning Ref-issue	29/04/20	CT	TP
P6	Planning Ref-issue	10/04/20	CT	TP
P5	Planning Ref-issue	06/02/20	CT	TP
P4	Planning Ref-issue	06/11/20	RP	TP
P3	Planning Ref-issue	21/11/19	CEM	TP
P2	Planning Ref-issue	19/05/19	RP	TP
P1	Planning Issue	30/05/19	CEM	TP

REV	NOTES	DATE	BY	AUTH
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**DRAWING STATUS**

**Planning**

TITLE  
 03-Proposed  
 Proposed Fourth Floor Plan

PROJECT  
 Mary Arches, Exeter

# PROPOSED SITE PLAN – 4<sup>th</sup> FLOOR



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P. A. Peckham, C. C. Contractor



- NOTES**
- Key**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
- Planning Application Site Boundary

03	Planning Review	23/04/08	CT	TP
02	Planning Review	15/04/08	CT	TP
01	Planning Review	09/03/08	CT	TP
00	Planning Review	08/01/08	AP	TP
00	Planning Review	26/11/05	RP	TP
00	Planning Review	21/11/05	CEM	TP
00	Planning Review	19/08/05	RP	TP
00	Planning Review	30/05/05	CEM	TP

REV	NOTES	DATE	BY	AUTH

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**DRAWING STATUS**

**Planning**

TITLE  
03-Proposed  
Proposed Fifth Floor Plan

PROJECT  
Mary Arches, Exeter

# PROPOSED SITE PLAN – 5<sup>th</sup> FLOOR



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 P = Planning C = Contractor



NOTES

P7	Planning Re-issue	29/04/20	CT	TP
P6	Planning Re-issue	10/04/20	CT	TP
P3	Planning Re-issue	06/02/20	CT	TP
P4	Planning Re-issue	08/01/20	RP	TP
P3	Planning Re-issue	21/11/19	CEM	TP
P2	Planning Re-issue	19/09/19	RP	TP
P1	Planning Issue	30/05/19	CEM	TP

REV	NOTES	DATE	BY	AUTH
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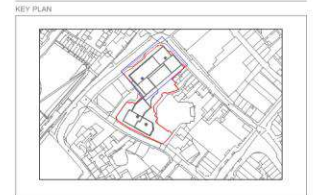
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DRAWING STATUS  
**Planning**  
 TITLE  
 03-Proposed  
 Proposed Roof Plan  
 PROJECT  
 Mary Arches, Exeter

# PROPOSED ROOF SITE PLAN



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 P = Planning C = Contractor



- NOTES**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
  - Planning Application Site Boundary

R1	Planning Ref Issue	29/04/20	CT	TP
R2	Planning Ref Issue	10/04/20	CT	TP
R3	Planning Ref Issue	06/02/20	CT	TP
R4	Planning Ref Issue	08/11/20	RP	TP
R5	Planning Ref Issue	21/11/20	CEM	TP
R2	Planning Ref Issue	19/08/20	RP	TP
R1	Planning Issue	30/05/20	CEM	TP

REV	NOTES	DATE	BY	AUTH
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**DRAWING STATUS**

**Planning**

**TITLE**  
 03-Proposed  
 Proposed Ground Floor Plan - Building A

**PROJECT**  
 Mary Arches, Exeter

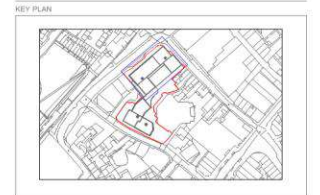
# PROPOSED BLOCK A - GROUND FLOOR PLAN



Block B



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 P = Planning C = Contractor



- NOTES**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
  - Planning Application Site Boundary

REV	NOTES	DATE	BY	AUTH
P1	Planning Ref Issue	29/04/20	CT	TP
P6	Planning Ref Issue	10/04/20	CT	TP
P3	Planning Ref Issue	06/02/20	CT	TP
P4	Planning Ref Issue	09/11/20	RP	TP
P11	Planning Ref Issue	21/11/20	CEM	TP
P2	Planning Ref Issue	19/03/20	RP	TP
P1	Planning Issue	30/05/20	CEM	TP

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**Planning**

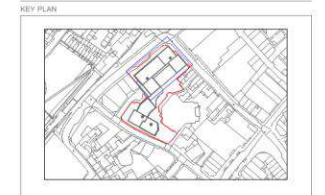
**TITLE**  
 03-Proposed  
 Proposed First Floor Plan - Building A

**PROJECT**  
 Mary Arches, Exeter

# PROPOSED BLOCK A 1<sup>ST</sup> FLOOR PLAN



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 P - Planning C - Contractor



- NOTES**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
  - Planning Application Site Boundary

R6	Planning Ref-use	230426	CT	TP
R7	Planning Ref-use	190406	CT	TP
R8	Planning Ref-use	060308	CT	TP
R9	Planning Ref-use	060108	RP	TP
R2	Planning Ref-use	190505	RP	TP
R1	Planning Ref-use	300505	CEM	TP

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**Planning**

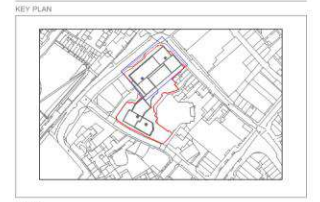
**TITLE**  
 03-Proposed  
 Proposed Second Floor Plan - Building A

**PROJECT**  
 Mary Arches, Exeter

# PROPOSED BLOCK A 2<sup>nd</sup> FLOOR PLAN



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 P. A. Peckham, C. C. Contractor



- NOTES**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
  - Planning Application Site Boundary

R6	Planning Ref-use	230426	CT	TP
R7	Planning Ref-use	190606	CT	TP
R8	Planning Ref-use	060306	CT	TP
R9	Planning Ref-use	060106	RP	TP
R2	Planning Ref-use	190505	RP	TP
R1	Planning Ref-use	300505	CCM	TP

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**DRAWING STATUS**

**Planning**

**TITLE**  
 03-Proposed Proposed Third Floor Plan - Building A

**PROJECT**  
 Mary Arches, Exeter

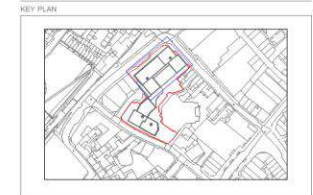
# PROPOSED BLOCK A 3<sup>rd</sup> FLOOR PLAN



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- NOTES**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
  - Planning Application Site Boundary

R6	Planning Ref-use	230426	CT	TP
R5	Planning Ref-use	190606	CT	TP
R4	Planning Ref-use	060306	CT	TP
R3	Planning Ref-use	061106	RP	TP
R2	Planning Ref-use	190505	RP	TP
R1	Planning Ref-use	300505	CEM	TP

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**DRAWING STATUS**  
**Planning**

**TITLE**  
 03-Proposed Proposed Fourth Floor Plan - Building A

**PROJECT**  
 Mary Arches, Exeter

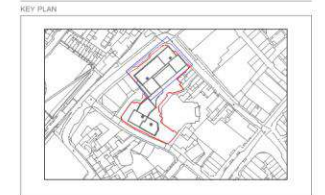
# PROPOSED BLOCK A 4<sup>th</sup> FLOOR PLAN



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- NOTES**
- Key**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
- Planning Application Site Boundary

R6	Planning Ref-use	230426	CT	TP
R5	Planning Ref-use	190406	CT	TP
R4	Planning Ref-use	060308	CT	TP
R3	Planning Ref-use	060108	RP	TP
R2	Planning Ref-use	190305	RP	TP
R1	Planning Ref-use	300505	CEM	TP

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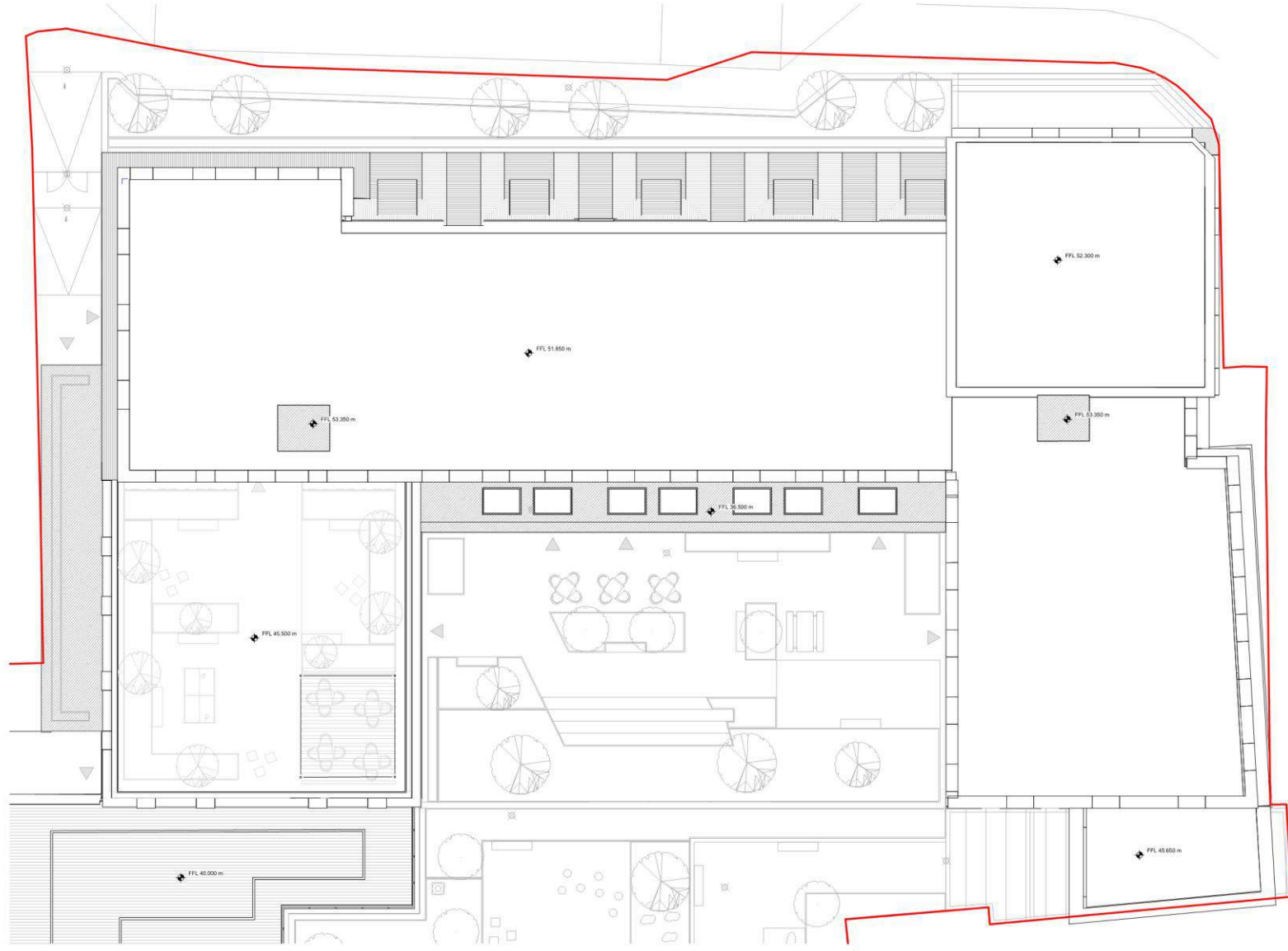
**DRAWING STATUS**

**Planning**

**TITLE**  
 03-Proposed  
 Proposed Fifth Floor Plan - Building A

**PROJECT**  
 Mary Arches, Exeter

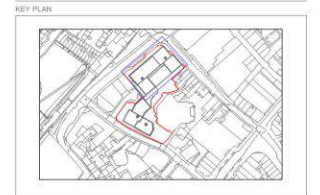
# PROPOSED BLOCK A 5<sup>th</sup> FLOOR PLAN



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 P = Planning C = Contractor



- NOTES**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
  - Planning Application Site Boundary

REV	NOTES	DATE	BY	AUTH
P6	Planning Ref-use	23/04/08	CT	TP
P5	Planning Ref-use	19/04/08	CT	TP
P4	Planning Ref-use	05/03/08	CT	TP
P3	Planning Ref-use	18/01/08	RP	TP
P2	Planning Ref-use	18/01/08	RP	TP
P1	Planning Ref-use	30/05/05	CEM	TP

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**DRAWING STATUS**

**Planning**

TITLE  
 03-Proposed  
 Proposed Roof Plan - Building A

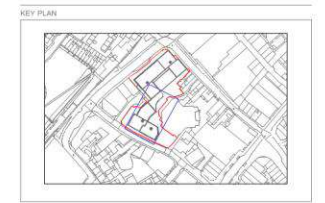
PROJECT  
 Mary Arches, Exeter

# PROPOSED BLOCK A ROOF PLAN



2 PL03-BA01 - Building B - Pavillion  
Scale 1:100

Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements documents, Agreements to Lease, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall Boundary Awards. Other specialist design consultant's requirements as approved by the Main Contractor. Other specialist design sub-contractor's requirements as approved by the Main Contractor.  
P = Preliminary C = Contract



- NOTES
- Key**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
  - Planning Application Site Boundary

REV	NOTES	DATE	BY	AUTH
P1	Planning Re-issue	20/05/26	ET	TP
P6	Planning Re-issue	10/04/26	CT	TP
P5	Planning Re-issue	20/03/26	CT	TP
P4	Planning Re-issue	08/12/25	RP	TP
P3	Planning Re-issue	21/11/25	CEM	TP
P2	Planning Re-issue	18/09/25	RP	TP
P1	Planning Issue	30/05/25	CEM	TP

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DRAWING STATUS

**Planning**

TITLE  
03-Proposed Proposed First Floor Plan - Building B

PROJECT  
Mary Arches, Exeter

SCALE AT A1: 1:100 SCALE AT A3: 1:200 DAA JOB NO: 24018

DRAWING: SMA-DA-2B-01-DR-A-PLB03101 REV: P7

# PROPOSED BLOCK B 1<sup>st</sup> FLOOR PLAN (Ground Level)

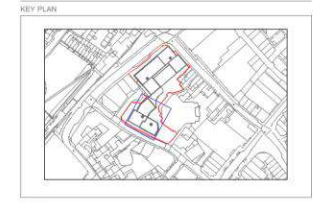


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P. A. Peckham, C. C. Contractor



- NOTES**
- Key**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
  - Planning Application Site Boundary

P1	Planning Ref Issue	28/04/20	CT	TP
P6	Planning Ref Issue	10/04/20	CT	TP
P9	Planning Ref Issue	06/02/20	CT	TP
P4	Planning Ref Issue	08/11/20	RP	TP
P3	Planning Ref Issue	21/11/20	CEM	TP
P2	Planning Ref Issue	19/05/20	RP	TP
P1	Planning Issue	30/05/20	CEM	TP

REV	NOTES	DATE	BY	AUTH
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**DRAWING STATUS**

**Planning**

TITLE  
 03-Proposed  
 Proposed Second Floor Plan - Building B

PROJECT  
 Mary Arches, Exeter

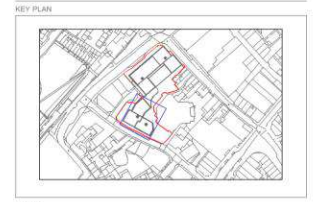
# PROPOSED BLOCK B 2<sup>nd</sup> FLOOR PLAN



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- NOTES**
- Key**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
  - Planning Application Site Boundary

P7	Planning Ref Issue	28/04/20	CT	TP
P8	Planning Ref Issue	10/06/20	CT	TP
P9	Planning Ref Issue	06/02/20	CT	TP
P4	Planning Ref Issue	08/11/20	RP	TP
P3	Planning Ref Issue	21/11/20	CEM	TP
P2	Planning Ref Issue	19/03/20	RP	TP
P1	Planning Issue	30/05/20	CEM	TP

REV	NOTES	DATE	BY	AUTH
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**DRAWING STATUS**

**Planning**

TITLE  
 03-Proposed  
 Proposed Third Floor Plan - Building B

PROJECT  
 Mary Arches, Exeter

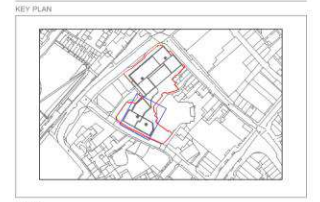
# PROPOSED BLOCK B 3<sup>rd</sup> FLOOR PLAN



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- NOTES**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
  - Planning Application Site Boundary

P1	Planning Ref Issue	28/04/20	CT	TP
P6	Planning Ref Issue	10/04/20	CT	TP
P3	Planning Ref Issue	06/02/20	CT	TP
P4	Planning Ref Issue	08/01/20	RP	TP
P11	Planning Ref Issue	21/11/19	CEM	TP
P2	Planning Ref Issue	19/09/19	RP	TP
P1	Planning Ref Issue	30/05/19	CEM	TP

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**DRAWING STATUS**

**Planning**

TITLE  
 03-Proposed  
 Proposed Fourth Floor Plan - Building B

PROJECT  
 Mary Arches, Exeter

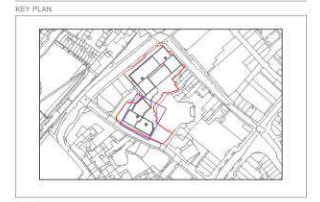
# PROPOSED BLOCK B 4<sup>th</sup> FLOOR PLAN



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- NOTES**
- Key**
- Standard Unit
  - Large Unit
  - Internal Amenity
  - External Amenity
  - Facilities
  - Ancillary & Plant
  - Planning Application Site Boundary

P1	Planning Ref Issue	290420	CT	TP
P6	Planning Ref Issue	100420	CT	TP
P9	Planning Ref Issue	060206	CT	TP
P4	Planning Ref Issue	080106	RP	TP
P11	Planning Ref Issue	110105	CEM	TP
P2	Planning Ref Issue	190805	RP	TP
P1	Planning Ref Issue	300505	CEM	TP

REV	NOTES	DATE	BY	AUTH
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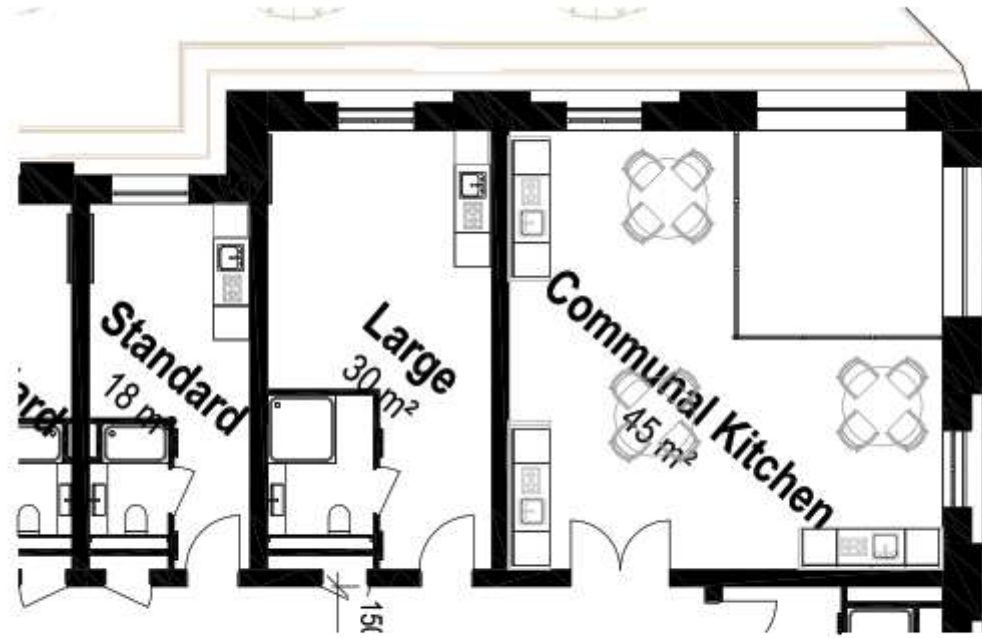
**DRAWING STATUS**

**Planning**

TITLE  
03-Proposed  
Proposed Roof Plan - Building B

PROJECT  
Mary Arches, Exeter

# PROPOSED BLOCK B ROOF PLAN



DA  
A

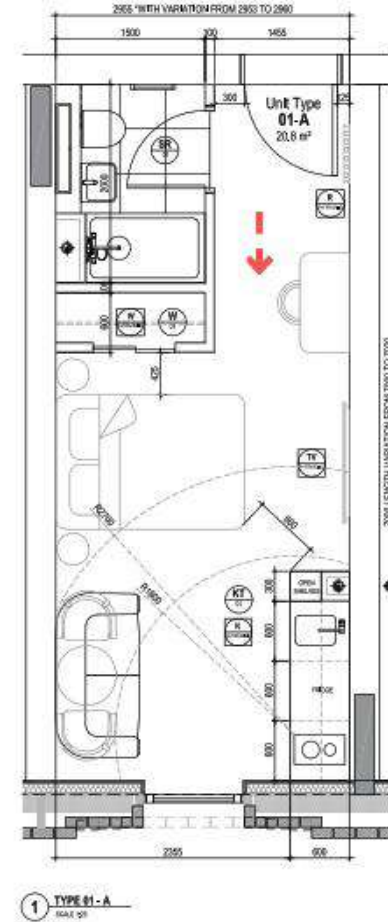
Design and Access Statement Addendum 2  
Mary Arches, Exeter

# INTERNAL STANDARDS

### 3.1 Typical Unit Layout

Co-living room sizes. Additional 3d view of 18 sqm co-living room layout to be provided.

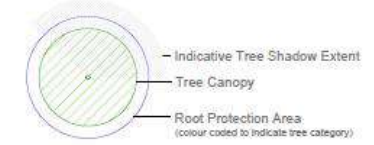
Attached is a 3d view for an 18 m<sup>2</sup> co-living unit. We have used this unit types in previous projects. The key features include individual ensuites and kitchenettes, which must be positioned next to the windows to adhere to fire regulations. Residents should not need to escape within 1.8 m of cookers. Additionally, storage, seating, and desk spaces are provided.





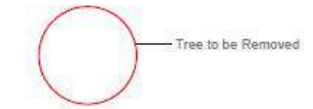
**Key:**

**Trees To Be Retained**



- Category B
- Category C

**Trees To Be Removed**



Scale @ A1: 1:250

Drawing should be viewed in colour.  
Location of trees suffered with PA (position approximate) have been estimated on site.

**Drawing Title:**  
Tree Retention Plan

**Project:**  
Mary Arches, Exeter

**Client:**  
Eutopia Exeter Arches Ltd.

Date: 02/12/2025	Drawn: MU
Drawing Number: 2784-TRP-MU	Revision: 1

# TREE RETENTION PLAN



# ILLUSTRATIVE LANDSCAPE PLAN



# ILLUSTRATIVE LANDSCAPE PLAN



# ILLUSTRATIVE LANDSCAPE PLAN



1 Site Section - Bartholomew Street East

Scale 1 : 500

# SITE ELEVATIONS



2

Site Section - Mary Arches Street

Scale 1 : 500

# SITE ELEVATIONS

**2** Site Section - Mary Arches Street  
Scale 1:500



**3** Site Section - North Street  
Scale 1:500



1 Building A NE Elevation  
Scale: 1:100

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NOTES

- 1 Red Brick Cladding
- 2 Red Patterned Brick Cladding
- 3 Buff Soldier Course Brick Cladding
- 4 Standing Seam Zinc Roofing - Darker
- 7 Glazing with Grey Metal Mullions
- 8 Dark Brown Soldier Course Brick Cladding
- 9 Decorative Solid Grey Metal Panel
- 10 Grey Metal Balustrade
- 13 Concrete Panel
- 14 Scalloped Concrete Panel
- 15 Green Glazed Bricks
- 16 Dark Green Brick Cladding
- 19 Dark Green Metal Panel

KEY PLAN



REV

REV	NOTES	DATE	BY	AUTH
P1	Planning Issue	30/05/25	GEM	TP
P2	Planning No-issue	19/09/25	HP	TP
P3	Planning No-issue	21/11/25	GEM	TP
P4	Planning No-issue	08/01/26	HP	TP
P5	Planning No-issue	09/02/26	CT	TP
P6	Planning No-issue	15/04/26	CT	TP
P7	Planning No-issue	23/04/26	CT	TP

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DRAWING STATUS

Planning **S0**

TITLE

03-Proposed  
Proposed North Elevation - Building A Front

PROJECT

Mary Arches, Exeter

**BUILDING A NORTH ELEVATIONS**



1 Building A SE Elevation  
Scale 1:100

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**NOTES**

- ① Red Brick Cladding
- ② Red Patterned Brick Cladding
- ③ Buff Soldier Course Brick Cladding
- ④ Standing Seam Zinc Roofing - Darker
- ⑦ Glazing with Grey Metal Mullions
- ⑧ Dark Brown Soldier Course Brick Cladding
- ⑨ Decorative Solid Grey Metal Panel
- ⑩ Grey Metal Balustrade
- ⑬ Concrete Panel
- ⑭ Scalloped Concrete Panel
- ⑮ Green Glazed Bricks
- ⑯ Dark Green Brick Cladding
- ⑰ Dark Green Metal Panel

**KEY PLAN**



**REV**

REV	NOTES	DATE	BY	AUTH
P1	Planning Issue	30/05/25	GEM	TP
P2	Planning No-issue	19/09/25	HP	TP
P3	Planning No-issue	21/11/25	GEM	TP
P4	Planning No-issue	06/01/26	HP	TP
P5	Planning No-issue	09/02/26	CT	TP
P6	Planning No-issue	15/04/26	CT	TP
P7	Planning No-issue	23/04/26	CT	TP

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DRAWING STATUS: **Planning** IBO SHEET STATUS: **S0**

TITLE: **03-Proposed Proposed East Elevation - Building A Rear**

PROJECT: **Mary Arches, Exeter**

**BUILDING A EAST ELEVATIONS**



1 Building A SW Elevation  
Scale 1:100

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- NOTES**
- 1 Red Brick Cladding
  - 7 Glazing with Grey Metal Mullions
  - 13 Concrete Panel
  - 19 Dark Green Metal Panel
  - 2 Red Patterned Brick Cladding
  - 8 Dark Brown Soldier Course Brick Cladding
  - 14 Scalloped Concrete Panel
  - 3 Buff Soldier Course Brick Cladding
  - 9 Decorative Solid Grey Metal Panel
  - 15 Green Glazed Bricks
  - 4 Standing Seam Zinc Roofing - Darker
  - 10 Grey Metal Balustrade
  - 16 Dark Green Brick Cladding



REV	NOTES	DATE	BY	AUTH
P1	Planning Issue	30/05/25	CEM	TP
P2	Planning No-issue	19/09/25	HP	TP
P3	Planning No-issue	21/11/25	CEM	TP
P4	Planning No-issue	08/01/26	HP	TP
P5	Planning No-issue	09/03/26	CT	TP
P6	Planning No-issue	15/04/26	CT	TP
P7	Planning No-issue	23/04/26	CT	TP

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DRAWING STATUS	ISO SHEET STATUS
<b>Planning</b>	<b>S0</b>
TITLE	
03-Proposed Proposed South Elevation - Building A Side	
PROJECT	
Mary Arches, Exeter	

# BUILDING A SOUTH ELEVATIONS



1 Building A NW Elevation  
Scale 1:100

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NOTES

- 1 Red Brick Cladding
- 2 Red Patterned Brick Cladding
- 3 Buff Soldier Course Brick Cladding
- 4 Standing Seam Zinc Roofing - Darker
- 7 Glazing with Grey Metal Mullions
- 8 Dark Brown Soldier Course Brick Cladding
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- 10 Grey Metal Balustrade
- 13 Concrete Panel
- 14 Scalloped Concrete Panel
- 15 Green Glazed Bricks
- 16 Dark Green Brick Cladding
- 19 Dark Green Metal Panel

KEY PLAN



REV

REV	NOTES	DATE	BY	AUTH
P1	Planning Issue	30/05/25	GEM	TP
P2	Planning No-issue	19/05/25	HP	TP
P3	Planning No-issue	21/11/25	GEM	TP
P4	Planning No-issue	08/01/26	HP	TP
P5	Planning No-issue	09/03/26	CT	TP
P6	Planning No-issue	15/04/26	CT	TP
P7	Planning No-issue	23/04/26	CT	TP

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DRAWING STATUS: **Planning** IBO SHEET STATUS: **S0**

TITLE: **03-Proposed West Elevation - Building A Front**

PROJECT: **Mary Arches, Exeter**

# BUILDING A WEST ELEVATIONS



1 Building B North Elevation  
Scale: 1:100

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NOTES

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- ② Red Patterned Brick Cladding
- ③ Buff Soldier Course Brick Cladding
- ④ Standing Seam Zinc Roofing - Darker
- ⑦ Glazing with Grey Metal Mullions
- ⑧ Dark Brown Soldier Course Brick Cladding
- ⑨ Decorative Solid Grey Metal Panel
- ⑩ Grey Metal Balustrade
- ⑬ Concrete Panel
- ⑭ Scalloped Concrete Panel
- ⑮ Green Glazed Bricks
- ⑯ Dark Green Brick Cladding
- ⑰ Dark Green Metal Panel

KEY PLAN



REV

REV	NOTES	DATE	BY	AUTH
P1	Planning Issue	30/05/25	GEM	TP
P2	Planning No-issue	19/09/25	HP	TP
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P7	Planning No-issue	23/04/26	CT	TP

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DRAWING STATUS: **Planning** ISO SHEET STATUS: **SO**

TITLE: **03-Proposed Proposed North Elevation - Building B Rear**

PROJECT: **Mary Arches, Exeter**

# BUILDING B NORTH ELEVATIONS



1 Building B East Elevation  
Scale: 1:100

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Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements document, Agreements to Lease, Structural Engineer's drawings and any other drawings, specifications and schedules. See also: Building Regulations, Building Act 2010 and Building Act 2003.

NOTES

- ① Red Brick Cladding
- ② Red Patterned Brick Cladding
- ③ Buff Soldier Course Brick Cladding
- ④ Standing Seam Zinc Roofing - Darker
- ⑦ Glazing with Grey Metal Mullions
- ⑧ Dark Brown Soldier Course Brick Cladding
- ⑨ Decorative Solid Grey Metal Panel
- ⑩ Grey Metal Balustrade
- ⑬ Concrete Panel
- ⑭ Scalloped Concrete Panel
- ⑮ Green Glazed Bricks
- ⑯ Dark Green Brick Cladding
- ⑰ Dark Green Metal Panel

KEY PLAN



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DRAWING STATUS

Planning **SO**

TITLE

03-Proposed  
Proposed East Elevation - Building B Side

PROJECT

Mary Arches, Exeter

**BUILDING B EAST ELEVATIONS**



1 Building B South Elevation  
Scale 1:150

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Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements document, Requirements to Lasec, Structural Engineer's drawing and contract terms.

NOTES

- 1 Red Brick Cladding
- 2 Red Patterned Brick Cladding
- 3 Buff Soldier Course Brick Cladding
- 4 Standing Seam Zinc Roofing - Darker
- 7 Glazing with Grey Metal Mullions
- 8 Dark Brown Soldier Course Brick Cladding
- 9 Decorative Solid Grey Metal Panel
- 10 Grey Metal Balustrade
- 13 Concrete Panel
- 14 Scalloped Concrete Panel
- 15 Green Glazed Bricks
- 16 Dark Green Brick Cladding
- 19 Dark Green Metal Panel

KEY PLAN



REV

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DRAWING STATUS

Planning **SO**

TITLE

03-Proposed  
Proposed South Elevation - Building B Front

PROJECT

Mary Arches, Exeter

**BUILDING B SOUTH ELEVATION**



1 Building B West Elevation  
Scale 1:100

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NOTES

- 1 Red Brick Cladding
- 2 Red Patterned Brick Cladding
- 3 Buff Soldier Course Brick Cladding
- 4 Standing Seam Zinc Roofing - Darker
- 7 Glazing with Grey Metal Mullions
- 8 Dark Brown Soldier Course Brick Cladding
- 9 Decorative Solid Grey Metal Panel
- 10 Grey Metal Balustrade
- 13 Concrete Panel
- 14 Scalloped Concrete Panel
- 15 Green Glazed Bricks
- 16 Dark Green Brick Cladding
- 19 Dark Green Metal Panel

KEY PLAN



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DRAWING STATUS: **Planning** IBO SHEET STATUS: **SO**

TITLE: **03-Proposed Proposed West Elevation - Building B Side**

PROJECT: **Mary Arches, Exeter**

**BUILDING B WEST ELEVATIONS**



1 Site Section A-A  
Scale: 1:200

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Employer's Requirements document, Requirements to Lease, Structural Engineer's drawings and  
Contract Form 2A (Construction) and associated Schedules, Bills of Materials, Bills of Work and Bills of

NOTES

KEY PLAN



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REV	NOTES	DATE	BY	AUTH
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DRAWING STATUS: **Planning**  
ISO SHEET STATUS: **S0**

TITLE: **03-Proposed Proposed Site Section A-A**

PROJECT: **Mary Arches, Exeter**

SECTION A-A



1 Site Section B-B  
Scale: 1:200

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NOTES

KEY PLAN



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DRAWING STATUS

Planning **S0**

TITLE

03-Proposed  
Proposed Site Section B-B

PROJECT

Mary Arches, Exeter

SECTION B-B



BB05-Fifth Floor B  
+42.000 m  
 BB04-Fourth Floor B  
+43.200 m  
 BB03-Third Floor B  
+46.200 m  
 BB02-Second Floor B  
+43.200 m  
 BB01-First Floor B  
+42.000 m  
 BB00-Ground Floor B  
+37.000 m

1 Site Section C-C  
Scale 1:200

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**NOTES**



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**DRAWING STATUS**      **ISO SHEET STATUS**

**Planning**                      **S0**

**TITLE**

03-Proposed  
Proposed Site Section C-C

**PROJECT**

Mary Arches, Exeter

**SECTION C-C**



1 Site Section D-D  
Scale: 1:200

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913, Form 914, Form 915, Form 916, Form 917, Form 918, Form 919, Form 920, Form 921, Form 922, Form 923, Form 924, Form 925, Form 926, Form 927, Form 928, Form 929, Form 930, Form 931, Form 932, Form 933, Form 934, Form 935, Form 936, Form 937, Form 938, Form 939, Form 940, Form 941, Form 942, Form 943, Form 944, Form 945, Form 946, Form 947, Form 948, Form 949, Form 950, Form 951, Form 952, Form 953, Form 954, Form 955, Form 956, Form 957, Form 958, Form 959, Form 960, Form 961, Form 962, Form 963, Form 964, Form 965, Form 966, Form 967, Form 968, Form 969, Form 970, Form 971, Form 972, Form 973, Form 974, Form 975, Form 976, Form 977, Form 978, Form 979, Form 980, Form 981, Form 982, Form 983, Form 984, Form 985, Form 986, Form 987, Form 988, Form 989, Form 990, Form 991, Form 992, Form 993, Form 994, Form 995, Form 996, Form 997, Form 998, Form 999, Form 1000.

NOTES

KEY PLAN



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DRAWING STATUS: **Planning**  
ISO SHEET STATUS: **S0**

TITLE: **03-Proposed Proposed Site Section D-D**

PROJECT: **Mary Arches, Exeter**

SECTION D-D



1 Site Section E-E  
Scale 1:200

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Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements document, Agreements to Lease, Structural Engineer's drawings and notes, and any other drawings and schedules. See also: Schedule 2, Schedule 3, Schedule 4, Schedule 5, Schedule 6, Schedule 7, Schedule 8, Schedule 9, Schedule 10, Schedule 11, Schedule 12, Schedule 13, Schedule 14, Schedule 15, Schedule 16, Schedule 17, Schedule 18, Schedule 19, Schedule 20, Schedule 21, Schedule 22, Schedule 23, Schedule 24, Schedule 25, Schedule 26, Schedule 27, Schedule 28, Schedule 29, Schedule 30, Schedule 31, Schedule 32, Schedule 33, Schedule 34, Schedule 35, Schedule 36, Schedule 37, Schedule 38, Schedule 39, Schedule 40, Schedule 41, Schedule 42, Schedule 43, Schedule 44, Schedule 45, Schedule 46, Schedule 47, Schedule 48, Schedule 49, Schedule 50, Schedule 51, Schedule 52, Schedule 53, Schedule 54, Schedule 55, Schedule 56, Schedule 57, Schedule 58, Schedule 59, Schedule 60, Schedule 61, Schedule 62, Schedule 63, Schedule 64, Schedule 65, Schedule 66, Schedule 67, Schedule 68, Schedule 69, Schedule 70, Schedule 71, Schedule 72, Schedule 73, Schedule 74, Schedule 75, Schedule 76, Schedule 77, Schedule 78, Schedule 79, Schedule 80, Schedule 81, Schedule 82, Schedule 83, Schedule 84, Schedule 85, Schedule 86, Schedule 87, Schedule 88, Schedule 89, Schedule 90, Schedule 91, Schedule 92, Schedule 93, Schedule 94, Schedule 95, Schedule 96, Schedule 97, Schedule 98, Schedule 99, Schedule 100.

NOTES

KEY PLAN



REV

REV	NOTES	DATE	BY	AUTH
P1	Planning Issue	30/05/25	GEM	TP
P2	Planning No-issue	19/09/25	HP	TP
P3	Planning No-issue	21/11/25	GEM	TP
P4	Planning No-issue	08/01/26	HP	TP
P5	Planning No-issue	09/03/26	CT	TP
P6	Planning No-issue	15/04/26	CT	TP
P7	Planning No-issue	23/04/26	CT	TP

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DRAWING STATUS

Planning **S0**

TITLE  
03-Proposed  
Proposed Site Section E-E

PROJECT  
Mary Arches, Exeter



**REPRESENTATIVE VIEW**



kerings

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**REPRESENTATIVE VIEW**



# REPRESENTATIVE VIEW



**REPRESENTATIVE VIEW**



**REPRESENTATIVE VIEW**



**REPRESENTATIVE VIEW**



**REPRESENTATIVE VIEW**



**REPRESENTATIVE VIEW**

The key planning issues are:

1. Principle of development – loss of car parking and retail and development of Co-Living accommodation.
2. Impact on heritage assets
3. Scale, design, appearance, density
4. Impacts on the amenity of neighbouring occupiers
5. Amenity of future occupiers
6. Impact on landscape and biodiversity
7. Travel, access and parking
8. Sustainable Construction and Energy Conservation
9. Flood Risk and Surface Water Management
10. Pollution
11. Affordable Housing
12. Mixed Communities
13. Housing supply
14. Economic benefits
15. Community Infrastructure Levy
16. Planning Obligations

## Planning Committee 19 January 2026

RESOLVED that the Committee DEFER determination of the application, on the grounds that further discussions were required between officers and the applicant to address:

- the scale and massing of the proposed development;
- the design quality and treatment of the street-facing elevations; and
- that these matters be explored and reported back to a subsequent meeting of the Planning Committee.

## Benefits

- The provision of 297 Co-living dwelling units of which 60 Affordable Private Rent Units of which 3 are Wheelchair units on a highly sustainable site is given significant weight in decision making.
- The redevelopment of an underdeveloped site and the removal of buildings that make a negative contribution to the setting of Listed Buildings and the Character and Appearance of the Central Conservation Area centre, and the enhanced public engagement with the Archaeological Investigation of the site, is given positive weight in decision making.
- The car free development of the site that will reduce traffic movement in the city centre is given moderate positive weight given the modest reductions in traffic and impact on overall air quality.
- Contributions from the development to offset the impact of the development on services and public spaces are given limited positive weight.

## Harms

- The harm to the setting of Listed Buildings and the Character and Appearance of the Central Conservation Area which is assessed as less than substantial harm is given significant weight in decision making given the special regard that is required to be had to the assets and that the harm would be long lasting.
- The loss of trees and reduction in on site biodiversity, which will need to be compensated off site, is given significant weight in decision making
- The loss of renewable energy generating capacity is given moderate weight in decision making.

The Council is not currently able to demonstrate a 5-year housing land supply (supply at 01 April 2025 was 4 years 3.2 months). Consequently, the presumption in favour of sustainable development as set out in Paragraph 11 of the NPPF is to be applied.

The Supreme Court judgement confirmed that for the purposes of applying a tilt in favour of sustainable development, known as the 'tilted balance' (NPPF Para. 11(d)), policies of the development plan will remain applicable, but it will be for the local planning authority to determine the balance of policies for the protection of environment and amenity against the need for housing and the economy.

The tilted balance is therefore to be borne in mind when balancing the planning issues that have been outlined in the committee report.

## CONCLUSION

In light of the officer assessment set out in the 'Planning Balance' section of the report, and taking into consideration the guidance in paragraph 11 of the NPPF, it is considered that the benefits of the development proposed, in terms of provision of residential development to meet demonstrated housing need, outweigh the heritage harm and all other harms and that the design of the building is acceptable given the impact of the current site on the Conservation Area and Setting of Listed and Locally Listed buildings.

## CONCLUSION

A. DELEGATE TO HEAD OF CITY DEVELOPMENT TO **GRANT PERMISSION** SUBJECT TO THE COMPLETION OF A LEGAL AGREEMENT UNDER SECTION 106 OF THE TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TO SECURE THE FOLLOWING:

- 20% of Co-living Units (60 units) as 'Affordable Private Rent', including 3 wheelchair M4(3) units.
- Highways Contributions totalling £139,050 and £10,000 for Traffic Orders.
- Car Club Contributions £146,434.62 for vehicle provision, and associated £7,269 TROs and £7,269 Road Markings
- Provision of permissive path, including public access and ongoing maintenance
- Co-living Management Plan, including measures to discourage car ownership and use
- Primary Health Care contribution £87,184 towards expansion of GPs surgery provision
- Contribution of £457 per bedspace towards the provision and improvement of off-site public open spaces serving the development.
- Contribution of £278 (per bedspace towards the provision or improvement of off-site playing fields city-wide.
- Habitat Regulations mitigation - Exe Estuary (Affordable units only) - £1278.71
- 24/7 onsite management presence
- A financial contribution £93,000 to support public engagement of archaeological investigation and its findings
- Restrictions on Full Time Student Occupation of 10%
- S106 and Bio-diversity Net Gain Monitoring Fees

And the conditions listed in this report and in the update sheet, the wording of which may be varied.

**OFFICER RECOMMENDATION (Part A)**

**B. REFUSE PERMISSION IF THE LEGAL AGREEMENT UNDER SECTION 106 OF THE TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) IS NOT COMPLETED WITHIN 6 MONTHS OF THE DATE OF COMMITTEE, OR SUCH EXTENDED TIME AS AGREED IN WRITING BY THE SERVICE LEAD (CITY DEVELOPMENT).**

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